



# Falls City Oregon City Council Meeting

Monday, April 1, 2024 at 6:00 pm

## Meeting Location

320 N Main St • Falls City, OR 97344

## How to Attend and/or Participate

1. In Person: 320 N Main St. Falls City, OR 97344
2. Call-in: a. 1-253-215-8782 b. Meeting ID: 878 7406 4319  
You will be muted but may “raise your hand” to indicate you wish to comment.
3. Web Application: Zoom Webinar <https://us06web.zoom.us/j/87874064319>  
You will be muted but may “raise your hand” to indicate you wish to comment during Public Comments.
4. Write-In: Using regular mail or email. a. [info@fallscityoregon.gov](mailto:info@fallscityoregon.gov); 299 Mill St. Falls City, OR 97344

The City of Falls City does not discriminate in providing access to its programs, services, and activities on the basis of race, color, religion, ancestry, national origin, political affiliation, sex, age, marital status, physical or mental disability, or any other inappropriate reason prohibited by law or policy of the state or federal government. Should a person need special accommodations or interpretation services, contact the City at 503.787.3631 at least one working day prior to the need for services and every reasonable effort to accommodate the need will be made.

### 1. CALL TO ORDER & ROLL CALL

Mayor TJ Bailey, Council President Houghtaling, Councilor Nick Backus, Councilor Martha Jirovec, Councilor Tony Meier, Councilor Dennis Sickles, Councilor Lori Jean Sickles

### 2. PLEDGE OF ALLEGIANCE

### 3. ANNOUNCEMENTS, APPOINTMENTS, APPRECIATIONS, & PROCLAMATIONS

### 4. PUBLIC HEARINGS

Public comment will be allowed in items appearing on the section of the agenda following a brief staff report representing the item and action requested.

#### a. Community Resource Building

**Attachments:**

- **Staff Report** (CUP\_24-01\_staff\_report\_-\_Community\_Health\_Bldg.pdf)
- **Exhibit A** (CUP\_-\_Exhibit\_A\_-\_Applicant\_s\_Narrative.pdf)
- **Exhibit B** (CUP\_-\_Exhibit\_B\_-\_Applicant\_s\_Site\_Plan.pdf)
- **Exhibit C** (CUP\_-\_Exhibit\_C\_-\_Applicant\_s\_Floor\_Plan\_\_\_Bldg\_Elevations.pdf)
- **Exhibit D** (CUP\_-\_Exhibit\_D\_-\_Applicant\_s\_Revised\_Site\_Plan\_\_Sheet\_C3.0\_.pdf)

**5. PUBLIC COMMENTS & LETTER COMMUNICATIONS**

In order to encourage an environment of openness, courtesy and respect for differing points of view, please refrain from behavior that is disruptive to the meeting such as making loud noises, clapping, shouting, booing, or any other activity that disrupts the orderly conduct of the meeting. Abusive language will not be tolerated.

Please limit your commentary to 3 minutes or less.

**6. CONSENT AGENDA**

**a. March 4, 2024 Minutes**

**Attachments:**

- **Minutes** (2024.03.04\_Council\_Minutes.pdf)

**7. REPORTS OR COMMENTS FROM MAYOR AND COUNCIL MEMBERS**

**a. Mayor's Report**

**b. Councilor Comments**

**8. REPORTS FROM CITY MANAGER & STAFF**

**a. Falls City Fire Report**

**Attachments:**

- **Report** (FD\_February\_Report.pdf)

**b. Sheriff Report**

**Attachments:**

- **Report** (Sheriff\_February\_Calls.pdf)

**c. City Manager's Report**

**Attachments:**

- **Report** (2024.04.01\_Monthly\_Manager\_s\_Report.pdf)

**9. RESOLUTIONS**

**a. Resolution 05-2024**

**Attachments:**

- **Staff Report** (Res\_05-2024\_SR\_S24003\_Business\_Oregon\_Loan\_Agreement\_Water\_Main\_Line\_Replacement\_Project.pdf)
- **Res 05-2024** (Resolution\_05-2024\_S24003\_Falls\_City\_Borrowing\_Resolution.pdf)

**10. GOOD OF THE ORDER**

## 11. ADJOURN

Posted for Public at the City Hall Bulletin Board, Community Center, Falls City Website, Frink's General Store, Falls City Market, LCB Bulletin Board, Post Office, and City Facebook page

---

Contact: Jeremy Teal, City Recorder (jteal@fallscityoregon.gov 503.787.3631) | Agenda published on 03/27/2024 at  
3:01 PM

# CITY OF FALLS CITY

---

299 Mill Street  
Falls City, OR 97344  
503-787-3631

---

## STAFF REPORT

### SITE DESIGN REVIEW (SDR) 24-01 AND CONDITIONAL USE PERMIT (CUP) 24-01

Community Health Center at 200 Parry Street / 148 Bridge Street

Staff Report date: March 25, 2024

City Council hearing date: April 1, 2024

---

|                         |  |
|-------------------------|--|
| NATURE OF APPLICATION:  | Site Design Review and Conditional Use Permit for a proposed community health center / building that includes a new single-story modular office, roughly 1,790 square feet with dimensions of 28-feet by 64-feet. The proposal includes a paved ADA surface parking space with pedestrian pathway and gravel parking area to be enclosed by a six-foot fence / gate. |
| APPLICABLE CRITERIA     | Falls City Zoning and Development Ordinance (FCZDO) Sections 2.104 (Public Open Space zone), 3.201.C (Conditional Use approval) and 3.203.G (Site Design Review approval).   |
| PROPERTY LOCATION:      | 200 Parry Street / 148 Bridge Street (Tax Lot 3800 on Polk County Tax Assessor's Map 8-6-21BB).  |
| APPLICANT:              | White Oak Construction   |
| ZONE DESIGNATION:       | Public Open Space, where community centers and clinics are a listed as conditional uses of the zone.   |
| COMP. PLAN DESIGNATION: | Same   |
| CITY FILE NUMBERS:      | SDR 2024-01 / CUP 2024-01  |
| EXHIBITS:               | A: Applicant's written response to approval criteria<br>B: Applicant's Site Plan<br>C: Applicant's Floor Plan / Building Elevations<br>D: Applicant's Revised Site Plan (Sheet C3.0)   |

---

## I. BACKGROUND

On March 6, 2024, staff received the applicant's combined Site Design Review / Conditional Use Permit application and narrative response to approval criteria (Exhibit A) in addition to a site plan (Exhibit B) together with floor plan and building elevations (Exhibit C). Also on March 6, 2024, staff deemed the combined Site Design Review / Conditional Use application complete. On March 7, 2024, staff mailed notice of this hearing to all property owners of record within 250 feet of the subject property. Staff refer to page 3 of the applicant's narrative (Exhibit A) that includes a project overview and other relevant background information. On March 11, 2024, staff received the applicant's revised site plan (Exhibit D, specific to Sheet C3.0).

## II. PROCEDURE

The combined Site Design Review / Conditional Use application is subject to the city Type III process (FCZDO 3.105) where the City Council, acting as the Planning Commission, conducts a quasi-judicial public hearing. One hearing can be conducted for the combined application proposal (Conditional Use and Site Design Review).

## III. WRITTEN COMMENTS

To the date of this report, there are no written comments (in response to notice or otherwise).

## IV. APPEAL

The decision of the Planning Commission / City Council shall be the final land use action of the city concerning these applications unless the decision is appealed to the Oregon State Land Use Board of Appeals (LUBA).

## V. FINDINGS IN RESPONSE TO GENERAL CITY DEVELOPMENT STANDARDS

Staff observe no development standards specific to the city Public Open Space zone. FCZDO Section 2.104 includes a list of permitted uses and conditionally permitted uses. However, building setbacks and height restrictions, typically identified to other city zones, are not identified / not applicable in the city Public Open Space zone. Also, staff observe no landscaping standards specific to the Public Open Space zone.

FCZDO Sections 2.200 and 2.201 identify other “general” development standards that may or may not apply, given project scope and circumstances. For example, FCZDO Section 2.201.05 describes a vision clearance area on each corner of property at the intersection of two streets. Within the vision clearance area, any sight-obscuring fence (open chain link excluded) is limited to the height of three feet, as measured from the ground.

Other general development standards (on fences, off-street parking and streets) are identified below.

### Fences

Findings - Fences: Standards in FCZDO Section 2.201.08 (B) for Walls, Fences and Hedges, are identified as follows.

#### *B. Standards*

- 1. Fences, walls and hedges may be located in any required yard or along the edge of any yard, subject to the maintenance of clear-vision areas. A fence, wall or hedge may not exceed six (6) feet in height without approval of a variance.*

2. *Every fence shall be maintained in a condition of reasonable repair and shall not be allowed to become and remain in a condition of disrepair including noticeable leaning, missing sections, broken supports, non-uniform height, and uncontrolled growth of vegetation.*
3. *Fences, walls and hedges shall not exceed four (4) feet in height along the front property line or within a front yard setback. Fences, yards and hedges shall not exceed four (4) feet in height for a distance of 10 feet from the front property line on side yards adjacent to a street.*
4. *In no instance shall a fence extend beyond the property line including into a public right-of-way. It is the responsibility of the property owner to determine the property line.*

Findings - Fence: In review of the above, staff observe applicant's Site Design Review / Conditional Use proposal to include a fence enclosure. In part, the applicant's narrative (Exhibit A) describes the proposed fence to be six feet (for height). Notes included with the applicant's site plan show the proposed fence to be placed immediate to property lines that abut respective public right-of-ways of Bridge Street and Parry Street.

Staff observe the standard in No. 3 (above) to set a height limit of four feet along the front property line or within a front yard setback. As previously mentioned, setbacks (typically identified to other city zones) are not identified / not applicable in the city Public Open Space zone. However, absent the setback standard (mostly applicable to buildings) staff observe the above standard to require 10 feet of distance from the front property line if the fence height exceeds four feet.

At the end of this report, staff proposes a condition of approval that would require the applicant's six-foot fence to be set back at least 10 feet from the respective property lines abutting the public right-of-ways of Bridge Street and Parry Road. During construction, a temporary six-foot fence could be in place for security purposes and could be placed along the front property lines. However, if the proposed six-foot fence is intended for perpetuity, the code standard calls for at least 10-feet from the property line. Staff also notes that a Variance application / approval (to the fence height standard) is necessary to vary the height standard. A Variance application has not been sought with the combined Site Design Review / Conditional Use proposal.

#### Off-street Parking

Findings – Off-street Parking: Code provisions in FCZDO Section 2.202 (Off-street Parking) are also applicable as the applicant's proposal introduces a new structure. Below is a code provision from FCZDO Section 2.202.04, pertaining to off-street parking:

*Off-street vehicle parking shall be provided as required by Section 2.202.07, Design Requirements, and approved by the City in the amount not less than listed below. Where square feet are specified, the area measured shall be the gross floor area primary to the functioning of the particular use of the property but shall exclude space devoted to off-street parking or unloading.*

Findings – Off-Street Parking: In review of the above, there is a table in FCZDO 2.202 that identifies minimum off-street parking specific to the type of use and the amount of floor space proposed (#s / ratios according to uses - not shown to this report). Staff observe no use description specific to "community health center" consistent with the applicant's project overview (Exhibit A, page 3). If the proposed community center was intended for public assembly, the codified off-street parking ratio in FCZDO 2.202 would call for one parking space for every four seats (or eight feet of bench length). In review of the applicant's floor plan, no area for public assembly is proposed. Staff also observe off-

street loading requirements (FCZDO 2.202.05) only applicable if the building or use of site were intended to receive and distribute materials and merchandise by trucks.

Staff observe that parking lot codified lighting standards (FCZDO 2.202.7.E.) are applicable (regardless the use or zone). These standards read:

*Lighting: Any light used to illuminate a parking or loading area shall be arranged to be directed entirely onto the loading or parking area, shall be deflected away from any residential use and shall not cast a glare or reflection onto moving vehicles on public rights-of-way.*

A proposed condition of approval (end of this report) would require lighting to be angled down or shielded in a way so that the light source (diodes) cannot be seen from abutting properties or abutting streets. Staff also observe how parking standards in FCZDO 2.202.7.L referring to the Americans with Disabilities Act, requiring off-street parking compliance for ADA access, regardless the use or zone. Accordingly, a proposed condition of approval (to meet standards of American Disabilities Act (Chapter 11, OSSC) is shown at the end of this report.

### Street Frontage Improvements

Findings – Street Frontage Improvements: Standards described in FCZDO Section 2.211 (Street Standards) are typically reviewed for proposals that include new site development, redevelopment, and large building additions. Staff observe the subject property to abut a portion of Parry Road / Bridge Street that currently lacks curb and sidewalk improvements as described in Falls City Street Design and Construction Standards. According to FCZDO Section 2.211.F., in-lieu of constructing the street frontage improvement (applicable along substandard streets) the city may allow the applicant to record an approved "Waiver of Rights to Remonstrate for Street and Public Utility Improvements" document. FCZDO Section 2.211.F., also identifies the following criteria for the Waiver document in-lieu of constructing street frontage improvements:

- a. *The contiguous length of the existing street to be improved (including the portion of the existing street which must be improved to serve the development) is less than 250 feet, and*
- b. *The existing roadway conditions and sections are adequate to handle existing and projected traffic loads, and*
- c. *Existing public utilities (water, sanitary sewer, and storm sewer) located within the existing roadway are adequate, or can be improved without damaging the existing roadway surface.*

The applicant's plans were sent to the City Engineer for review of the above. The City Engineer recommends recording the Waiver document as described, specific to the Parry Road frontage (proportional to fence length). Accordingly, staff proposes a condition hereto (see end of this report). As subject property is owned by the city, this condition will be the responsibility of the city to execute at Polk County Recorders Office.

In review of the applicant's proposed vehicle access (via Parry Street) the City Engineer also observed the location of an existing transformer box and recommended adjustment of the driveway accordingly. The City Engineer also recommends removable bollards with a 26-foot-wide paved driveway at the site entrance / exit of Parry Street. Staff proposes a condition hereto. Also, staff observe the applicant's revised site plan (Exhibit D) to show an adjusted gate location with removable bollards added. Paved entrance depth / width dimensions are not shown. To minimize the amount of gravel that is spilled on

to a public street (from vehicles exiting the site) the City Engineer recommends paving at the site entrance / exit.

## VI. FINDINGS IN RESPONSE TO APPLICABLE APPROVAL CRITERIA

Applicable sections of the FCZDO are shown in ***bold italics*** (below). Staff incorporate the applicant's written response to these criteria, shown to the applicant's narrative, Exhibit A.

Conditional Use Permit -- Criteria for Approval: ***Approval or denial of the application shall be based upon the following criteria:*** [FCZDO Section 3.201.C]

***1. The use is listed as a conditional use in the underlying district.***

Findings: According to the applicant, conditional uses of the city Public Open Space zone include gymnasiums, clubhouses, community centers, hospitals and overnight clinics. The applicant further explains how this project will be a community resource center.

Staff concur and observe "community centers" listed under Conditional Uses of the Public Open Space zone. Staff therefore conclude this criterion is met.

***2. The characteristics of the site are suitable for the proposed use, considering size, shape, location, topography, location of improvements and natural features.***

Findings: The applicant describes the size and dimensions of the proposed building (at 1,790 square feet in floor area) and how the building will be one story, located on a two-acre site. The applicant also explains how the proposed building (modular) is to be used partially for clinic purposes. Staff concur and observe how the subject property is relatively flat and has sufficient depth and width to accommodate the building as proposed. Staff also observe natural features to the northeast (Little Luckiamute vegetated area) that will not be disturbed by construction. Staff therefore conclude this criterion is met.

***3. The proposed development is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use.***

Findings: According to the applicant, the subject property is next to a paved road and currently has sidewalks. The applicant further explains the plan to add an ADA parking space that will be accessible from the sidewalk to the front door of the facility. The applicant also explains how the remainder of parking spaces on-site will be rock with painted parking stalls. The applicant further explains how the facility will be connected to the existing sanitary sewer (with solids tank) and include storm drainage, water, power and phone.

Staff concur. Staff also observe lack of curb and sidewalk along the street frontage of Parry Street (south frontage) as mentioned in this report. The City Engineer has reviewed the applicant's site plan with respect to the adequacy of existing public facilities to find in support (i.e., no concerns). With respect to street sidewalk improvements along the site frontage of Parry Street, the City Engineer recommends Waiver of Remonstrance be recorded (as discussed earlier in this report). Condition is proposed accordingly.

Staff therefore conclude the criterion is met with a condition of approval.



4. ***The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for the primary uses listed in the underlying district.***

Findings: According to the applicant, the lot is flat, treeless and the surface is tamped gravel. The applicant also provides observations about surrounding property, noting the location of a post office across the street, the Little Luckiamute River (north), the Public Works storage shed and Michael Harding City Park (northwest) and one house located to the southeast. According to the applicant, the proposed site is not in the heart of a residential area and is in a centralized location that will serve the residents of Falls City. The applicant concludes by stating that nothing is seen to impair or preclude the use of surrounding properties.

Staff concur to conclude that this criterion is met.

5. ***The proposal is compatible with applicable goals and policies of the Comprehensive Plan.***

Findings: The applicant does not identify goals or policies of the Comprehensive Plan and comments how the proposed community resource center is in line with goals of the Comprehensive Plan.

In review of the Comprehensive Plan, staff observe a policy under title “Public Facilities and Services” that encourages establishment of a community health center.

Staff conclude the criterion is met.

Site Design Review -- In addition to the above, staff observed the following criteria in FCZDO Section 3.203.G (Evaluation of Site Plan). These criteria are also addressed by the applicant (in Exhibit A).

***G. Evaluation of Site Plan: The review of a Site Plan shall be based upon consideration of the following criteria:***

***1. Conformance with the general development standards contained in this Ordinance including:***

- a. ***Streets*** – The applicant describes a new driveway entrance that will tie into Parry Road and notes that utilities will be connected to all the main lines. Staff incorporate the findings addressed previously in this report pertaining to streets.
- b. ***Off-street parking*** – The applicant notes that street parking is available on Bridge Street and how there is no code ratio requirement for off-street parking (specific to the use). Staff concur and incorporate the findings addressed previously in this report pertaining to parking.
- c. ***Public facilities, including storm drainage, and utility lines.*** The applicant calls attention to existing public utilities, including sanitary sewer, storm drainage, water, power and telephone service, all adjacent to the new construction that will be adequate for this project.
- d. ***Signs.*** According to the applicant, there will be a sign installed on the modular building.

e. ***Site and landscaping design.*** According to the applicant, around the new facility there will be minor landscaping which will include shrubs, trees and rock hardscape. The applicant also identifies a six-foot fence for property security.

**2. *Characteristics of adjoining and surrounding uses;***

According to the applicant, the post office is across the street to the east, the Luckiamute River is to the east, Public Works storage shed and Michael Harding City Park are to the North and there is one house to the south. The proposed site is not in the heart of a residential area and is a centralized location to serve the residents of Falls City. Staff confirm.

**3. *Drainage and erosion control needs;***

According to the applicant, there will be temporary erosion control installed during the construction process. The applicant further explains how existing construction area is 100% rock surface and will be regraded in a manner so that all water will shed away from the Little Luckiamute and towards Parry Road and enter into the existing storm system. According to the applicant, landscaping will include shrubs, trees and rock hardscape. Staff confirm the site plan to address drainage and erosion control needs.

**4. *Public health factors;***

The applicant response is N/A. Staff observe no relevant public health factors imposed by the applicant's project. Sewage treatment / connections are required and building permits through Polk County will be necessary.

**5. *Parking, traffic safety, and connectivity of internal circulation to existing and proposed streets, bikeways and pedestrian facilities;***

According to the applicant, there will be a hard surfaced area for ADA parking and the rest of the parking area will be a gravel surface with painted stripes. Access in and out of the parking area will be through a large gate located on Parry Road for autos or via sidewalk that enters onto the property through a pedestrian gate accessed off Bridge Street. According to the applicant, there should be no traffic safety issues when exiting or entering the new parking area via automobile or on foot, and visibility is clear in all directions. Staff concur.

**6. *Provision for adequate noise and/or visual buffering from non-compatible uses;***

According to the applicant, the majority of activities at this site will take place indoors. The applicant also states that there will be no added noise. The applicant adds a note about a possible portable generator used in the event of a power outage/emergency. Staff concur.

**7. *Retention of existing natural features on site;***

The applicant plans to add minor landscaping which will include shrubs, trees and rock hardscape. The modular will set approximately 75 ft south of the banks of the Little Luckiamute so there will be no impacts to the riparian zone and the parking surface area will drain away from the river to the south. Staff concur and recommend condition of erosion control (in place ahead of commencing construction).

**8. Problems that may arise due to development within potential hazard areas.**

According to the applicant, the subject property is not a hazard site and is not located in the 100-year flood plain. The applicant also notes how the site does not contain a steep slope and how there are no weak foundation soils at this location. Staff concur.

**VII. CONCLUSION AND RECOMMENDATION**

Based on the facts and findings in this staff report, Staff recommends that the City Council approve Site Design Review (SDR 24-01) and Conditional Use Permit (CUP 24-01) subject to the following conditions of approval:

**A. Prior to Building Permit issuance, the applicant shall:**

1. Provide building plans to the City of Falls City (same set intended for review by Polk County) that demonstrate compliance with current State of Oregon Building Code and State of Oregon Fire Code in effect as of date of application for building permit.
2. Obtain all other permits as required from State and Federal agencies as necessary.
3. Ensure the parking lot stripe plan and pedestrian pathway shows compliance with applicable standards of the American Disabilities Act (Chapter 11, OSSC).
4. Ensure erosion control measures (shown to plan set) are in place.

**B. Prior to Final Inspection or Issuance of a Certificate of Occupancy, the applicant shall:**

1. Ensure all parking lot lighting is angled down or shielded in a way so that the light source (diodes) cannot be seen from abutting properties or abutting streets.
2. Ensure the ADA parking space on-site is a hard surface and striped to the minimal dimensional standards of American Disabilities Act (Chapter 11, OSSC) and that the site entrance is paved (consistent with revised plan Exhibit D) to minimize gravel spill onto the street.
3. Record with Polk County Recorder’s Office, a "Waiver of Rights to Remonstrate for Street and Public Utility Improvements" document as described in FCZDO Section 2.211.F., specific to that portion of Parry Street frontage, consistent with the length of fence (roughly 150 feet).
4. Ensure all landscaping is planted prior to the issuance of an occupancy permit or, alternatively, planted within six (6) months of occupancy may be guaranteed through a performance bond or other instrument acceptable to the City Attorney.
5. Ensure all landscaping is continually maintained, including necessary watering, weeding, pruning and replacement of plant materials, in a substantially similar manner as originally approved by the Planning Commission / Council, unless altered with their approval.
6. Ensure all fencing is in place, consistent with fence height and location standards identified Section 2.201.08 (B) of the Falls City Zoning and Development Ordinance, with six-foot high fence placed at least ten feet from respective property lines along Parry Road and Bridge Street, and not within the vision clearance area. The six-foot fence height restriction does not apply to placement of temporary fencing used during the construction period for security purposes. If placed in the vision clearance area, the fence must be open chain-link to see on-coming vehicles.

### VIII. CITY COUNCIL ACTION OPTIONS

The following action options are available:

- A) Make a motion to adopt the staff report findings and approve SDR 24-01 and CUP 24-01, subject to the conditions of approval set forth in the staff report.
- B) Make a motion to adopt the staff report findings and approve SDR 24-01 and CUP 24-01, subject to the conditions of approval set forth in the staff report, as modified to reflect the following changes ... [indicate these changes as part of the motion]

*Note: Staff recommend that the motion-maker include specific text to be added / removed.*

- C) Make a motion to continue the public hearing to a date and time certain and indicate how additional information is needed to make a future decision.
- D) Make a motion to deny SDR 24-01 / CUP 24-01.

*Note: Staff recommend that the motion-maker explain the reasons for denial. Alternative findings for denial are not identified in this report.*

# Exhibit A

Applicant's response to approval criteria and relevant standards of the Falls City Development Code are shown in blue.

## **From Section 3.201.C. of the Falls City Development Code – Conditional Use Permits:**

*C. Criteria for Approval: Approval or denial of the application shall be based upon the following criteria:*

- 1. The use is listed as a conditional use in the underlying zone.*

Applicant Response: *Yes. Conditional uses of the Public Open Space zone include gymnasiums, clubhouses, community centers, hospitals and overnight clinics. This project will be a community resource center.*

- 2. The characteristics of the site are suitable for the proposed use, considering size, shape, location, topography, location of improvements and natural features.*

Applicant Response: *Yes-The proposed building is a new modular building to be set up on site as the resource center. roughly 1,790 square feet in size (28-ft. x 64-ft) one story, on a two-acre site (Tax Lot 3800 of Polk County Assessor's Map 8-6-21BB) located in the city Public Open Space zone. Floor plan shows proposed building (modular) is to be used partially for clinic purposes.*

- 3. The proposed development is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use.*

Applicant Response: *The location will have adequate access, is next to a paved road and currently has sidewalks. Our plan will add an ada parking space and accessible sidewalk to the front door of the facility. The remainder of the parking spaces will be rock with painted parking stalls. The facility will be connected to the existing sanitary sewer (with solids tank), storm drain, water, power and phone.*

- 4. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for the primary uses listed in the underlying zone.*

Applicant Response: *The lot is flat, treeless and the surface is tamped gravel and has ample room for this project. The post office is across the street to the east, the Luckiamute River is to the east, Public Works storage shed and Michael Harding City Part are to the North and there is one house to the south. The proposed site is not in the heart of a residential area and is a centralized location to serve the residents of Falls City –we see nothing that , impairs, or precludes the use of surrounding properties*

- 5. The proposal is compatible with applicable goals and policies of the Comprehensive Plan.*

Applicant Response: *We believe that a community resource center is in line with goals of the Comprehensive Plan*

## **From Section 3.203.G. of the Falls City Development Code – Site Design Review:**

G. *Evaluation of Site Plan: The review of a Site Plan shall be based upon consideration of the following criteria: 1. Conformance with the general development standards contained in this Ordinance including:*

- a. Streets – No new street improvements will be required. There will be a new driveway entrance that will tie into Parry Rd and the utilities will be connected to all the main lines, other than that no other work will be required in the streets.*
- b. Off-street parking – Already exists on Bridge Street. There is no code ratio requirement for parking.*
- c. Public facilities, including storm drainage, and utility lines. There are existing public utilities including Sanitary Sewer, Storm Drain, Water, Power and Telephone all adjacent to the new construction that will be adequate for this project.*
- d. Signs. There will be a sign installed on the modular building.*
- e. Site and landscaping design. Around the new facility there will be minor landscaping which will include shrubs, trees and rock hardscape. There will also be a 6 foot fence for property security.*

2. *Characteristics of adjoining and surrounding uses;*

Applicant Response: *The post office is across the street to the east, the Luckiamute River is to the east, Public Works storage shed and Michael Harding City Part are to the North and there is one house to the south. The proposed site is not in the heart of a residential area and is a centralized location to serve the residents of Falls City*

3. *Drainage and erosion control needs;*

Applicant Response: *There will be temporary erosion control installed during the construction process. The existing construction area is 100% rock surface and will be regraded in a manner that all water will shed away from the Little Luckiamute and towards Parry Rd and enter into the existing storm system. Landscaping will include shrubs, trees and rock hardscape.*

4. *Public health factors; N/A*

5. *Parking, traffic safety, and connectivity of internal circulation to existing and proposed streets, bikeways and pedestrian facilities;*

Applicant Response: *There will be a hard surfaced area for ADA parking and the rest of the parking area will be a gravel surface with painted stripes. Access in and out of the parking area will be through a large gate located on Parry Rd for autos or via sidewalk that enters onto the property through a pedestrian gate accessed off of bridge St.. There should be no traffic safety issues when exiting or entering the new parking area via automobile or on foot, visibility is clear in all directions.*

6. *Provision for adequate noise and/or visual buffering from non-compatible uses;*

Applicant Response: *The majority of activities at this site will take place indoors. No added noise, possible portable generator may be used in the event of a power outage/emergency.*

*7. Retention of existing natural features on site; and*

Applicant Response: *Our plan will add minor landscaping which will include shrubs, trees and rock hardscape. The modular will set approximately 75 ft south of the banks of the Little Luckiamute so there will be no impacts to the riparian zone and the parking surface area will drain away from the river to the south.*

*8. Problems that may arise due to development within potential hazard areas.*

Applicant Response: *This is not a hazard site, not in the 100 year flood plain, not a steep slope and there are no weak foundation soils*

## **Falls City Community Resource Center Project Narrative**

### **Project Overview**

*Willamette Health Council (WHC), a local not for profit organization is leading the effort to fund a community resource center at (need address) in Falls City, Oregon. The lot, known locally as the Mill Lot, is owned by the City of Falls City and city council has approved letting WHC use the lot for the resource center. The resource center will be the “hub” for much needed services including: Rental & utility payment assistance, rental application fee assistance, diapers/wipes basic need items, community mailbox program, family resource navigators & housing navigation services, medical/dental/mental health, public computer stations, access to food boxes and many other vital services.*

### **Relevant Background**

*Polk County’s Family & Community Outreach (FCO) Department received a grant of \$24,500 from the Willamette Health Council to survey Falls City area residents about their health and wellness needs and barriers. The voluntary survey of residents was provided both on-line and in paper form. The survey was initiated on October 17 and concluded on December 17, 2022. Falls City was selected because it is rural with no physical healthcare or dental services providers located within the zip code area. There are also no local mental health providers except for one school-based mental health employee and limited Polk County Behavioral Health service in a rented location one day per week and in the school one day per week.*

*The survey consisted of 65 demographic, health, wellness, barriers, and technology questions. 240 respondents in the Falls City and adjacent area completed the survey. This response represents 782 residents (554 adults and 228 children). Analysis showed the returns represented 40% of the U.S. mail addresses in Falls City and over 70% of the area’s total population. In summary, the survey data overwhelmingly pointed toward the need for a resource center of some kind in Falls City.*

*Several community partners and agencies came together to secure funding for a resource center. Over the past year, information was mailed monthly to residents keeping them informed about the project and several community meetings and events were held. Falls City residents have given feedback and ideas at each of these meetings and events. City Manager, Mayor and City Council members have been part of the process from the beginning. All are fully supportive of the project.*

*WHC has contracted with White Oak Construction to complete the project. Wiscott Mini (FKA Modern Building Systems) will construct the modular building.*

DRAWINGS FOR:

Exhibit B

# COMMUNITY HEALTH CENTER

148 BRIDGE STREET  
 FALLS, OR 97344

FOR:

WHITE OAK CONSTRUCTION  
 2455 RIVER ROAD S  
 SALEM, OR 97302

Peter Shanks  
 petershanks@whiteoakconstruction.net  
 503-559-8545

DRAWING INDEX

| DWG  | TITLE  |
|------|--|
| C1.0 | COVER SHEET, VICINITY MAP & DRAWING INDEX              |
| C1.1 | CONSTRUCTION NOTES                                     |
| C2.0 | EXISTING CONDITIONS, DEMOLITION & EROSION CONTROL PLAN |
| C2.1 | EROSION CONTROL NOTES & DETAILS                        |
| C3.0 | GRADING & DRAINAGE PLAN                                |
| C4.0 | OVERALL UTILITY PLAN                                   |
| C5.0 | CIVIL DETAILS  |

PROJECT  
 LOCATION



GENERAL LEGEND

| ITEM                   | PROPOSED | EXISTING |
|------------------------|----------|----------|
| SANITARY SEWER         | —SS—     | —SS—     |
| STORM DRAIN            | —SD—     | —SD—     |
| WATER                  | —W—      | —W—      |
| GAS                    | —G—      | —G—      |
| TELEPHONE              | —T—      | —T—      |
| POWER                  | —P—      | —P—      |
| FENCE                  | —X—X—    | —X—X—    |
| BARRICADE              | —□—□—    | —□—□—    |
| TELEPHONE MANHOLE      | ①        | ①        |
| TELEPHONE PEDESTAL     | ②        | ②        |
| SANITARY SEWER MANHOLE | ③        | ③        |
| STORM DRAIN MANHOLE    | ④        | ④        |
| CATCH BASIN            | ⑤        | ⑤        |
| FIRE HYDRANT AND VALVE | ⑥        | ⑥        |
| WATER METER            | ⑦        | ⑦        |
| WATER VALVE            | ⑧        | ⑧        |
| POWER POLE             | ⑨        | ⑨        |
| POWER POLE W/ANCHOR    | ⑩        | ⑩        |
| POLE W/LUMINAIRE       | ⑪        | ⑪        |
| LIGHT POLE             | ⑫        | ⑫        |
| SIGN POST              | ⑬        | ⑬        |
| MAILBOX                | ⑭        | ⑭        |
| HEDGE OR BRUSH         | ⑮        | ⑮        |
| TREES                  | ⑯        | ⑯        |



|                                    |       |
|------------------------------------|-------|
| STREET OR ALLEY RIGHT OF WAY       | —R/W— |
| PLATTED LOT LINE                   | —     |
| OWNERSHIP LINE                     | —     |
| EASEMENT OR TEMPORARY RIGHT OF WAY | —     |
| PROJECT CENTERLINE AND             | —     |

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| 1   |      |             |    |

|                |           |
|----------------|-----------|
| VERIFIED SCALE | 1" = 100' |
| DSN.           | SAW       |
| DRN.           | AR        |
| CKD.           | SAW       |
| DATE:          | AUG 2022  |

WHITE OAK CONSTRUCTION  
 FALLS CITY COMMUNITY HEALTH CENTER  
 COVER SHEET,  
 VICINITY & LOCATION MAPS

DRAWING  
 G-1  
 JOB NUMBER  
 3504.0000.0



**GENERAL NOTES**

1. Contractor shall procure, and conform to all construction permits required by the City of Falls City. Contractor shall coordinate and pay all fees and costs associated with connecting to existing water, sanitary sewer and storm sewer facilities, including services and inspections by the Approving Agency. Costs shall include as applicable but not be limited to fees for connection, tapping, inspection, testing, chlorination, System Development Charges, water meters, backflow certifications, or other similar or related costs.
2. Owner to pay all project permit costs, including but not limited to utility tapping, TV, and chlorination costs. The Contractor shall coordinate with the Approving Agency to determine appropriate fees and provide the Owner with 48 hours notice prior to the required payment of fees or costs.
3. Oregon law requires the Contractor to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. Obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is 503-232-1987).
4. Contractor to notify City and all utility companies a minimum of 48 business hours (2 business days) prior to start of construction, and comply with all other notification requirements of the Approving Agency with jurisdiction over the work.
5. Contractor shall provide all bonds and insurance required by public and/or private agencies having jurisdiction. Where required by public and/or private agencies having jurisdiction, the Contractor shall submit a suitable maintenance bond prior to final payment.
6. All materials and workmanship for facilities in street right-of-way or easements shall conform to Approving Agencies construction specifications wherein each has jurisdiction, including but not limited to the City, County, Oregon Health Division (OHD) and the Oregon Department of Environmental Quality (DEQ).
7. Unless otherwise approved by the Public Works Director, construction of all public facilities shall be done between 7:00 a.m. and 6:00 p.m., Monday through Saturday.
8. The Contractor shall perform all work necessary to complete the project in accordance with the approved construction drawings including such incidents as may be necessary to meet the Approving Agencies' requirements and provide a completed project.
9. Any inspection by the City or other Approving Agency shall not, in any way, relieve the Contractor from any obligation to perform the work, in strict compliance with the contract documents, applicable codes, and Approving Agency requirements.
10. Contractor shall maintain one complete set of approved drawings on the construction site at all times wherein he will record all approved deviations in construction from the approved drawings, as well as the station locations and depths of all existing utilities encountered. These field record drawings shall be kept up to date at all times and shall be available for inspection by the Approving Agency or Owner's Representative upon request. Failure to conform to this requirement may result in delay in payment and/or final acceptance of the project.
11. Upon completion of construction of all new facilities, Contractor shall submit a clean set of field record drawings containing all as-built information to the Engineer. All information shown on the Contractor's field record drawings shall be subject to verification. If significant errors or deviations are noted, an as-built survey prepared and stamped by a registered professional Land Surveyor shall be completed at the Contractor's expense.
12. The contractor shall retain and pay for the services of a registered Civil Engineer and/or Land Surveyor licensed in the State of Oregon to establish construction control and perform initial construction surveys to establish the lines and grades of improvements as indicated on the drawings. Staking for buildings, structures, curbs, gravity drainage pipes/structures and other critical improvements shall be completed using equipment accurate to 0.04 feet horizontal and 0.02 feet vertically, or better. Use of GPS equipment for final construction staking of these critical improvements is prohibited. The registered professional surveyor shall provide the design engineer with copies of all grade sheets for construction staking performed for the project.

**TESTING AND INSPECTION:**

13. For public and private improvements, the Contractor shall be responsible to ensure that all required or necessary inspections are completed by authorized inspectors prior to proceeding with subsequent work, which covers or that is dependent on the work, to be inspected. Failure to obtain necessary inspection(s) and approval(s) shall result in the Contractor being fully responsible for all problems and/or corrective measures arising from uninspected work.
14. Unless otherwise specified the attached "Required Testing and Frequency" table outlines the minimum testing schedule for private improvements on the project. This testing schedule is not complete, and does not relieve the Contractor of the responsibility of obtaining all necessary inspections or observations for all work performed, regardless of who is responsible for payment. Cost for retesting shall be borne by the Contractor.

**EXISTING UTILITIES & FACILITIES:**

15. The location and descriptions of existing utilities shown on the drawings are compiled from available records and/or field surveys. The Engineer or utility companies do not guarantee the accuracy or the completeness of such records. Contractor shall field verify locations and sizes of all existing utilities prior to construction.
16. Contractor shall field verify location and depth of all existing utilities where new facilities cross. All utility crossings marked or shown on the drawings shall be marked using hand tools or other non-invasive methods prior to excavating or boring. Contractor shall be responsible for exposing potential utility conflicts for enough ahead of construction to make necessary grade or alignment modifications without delaying the work. If grade or alignment modification is necessary, Contractor shall notify the Design Engineer, and the Design Engineer or the Owner's Representative shall obtain approval from the Approving Agency prior to construction.

17. The Contractor shall be responsible for locating and marking all existing survey monuments of record (including but not limited to property and street monuments) prior to construction. If any survey monuments are removed, disturbed, destroyed during construction of the project, the Contractor shall retain and pay for the services of a Registered Professional Surveyor licensed in the State of Oregon to reference and replace all such monuments prior to final payment. The monuments shall be replaced within a maximum of 90 days, and the County Surveyor shall be notified in writing as required by per ORS 209.150.
18. All facilities shall be maintained in-place by the Contractor unless otherwise shown or directed. Contractor shall take all precautions necessary to support, maintain, or otherwise protect existing utilities and other facilities at all times during construction. Contractor to leave existing facilities in an equal or better-than-original condition and to the satisfaction of the Approving Agency and Owner's Representative.
19. Utilities or interfering portions of utilities that are abandoned in place shall be removed by the Contractor to the extent necessary to accomplish the work. The Contractor shall plug the remaining exposed ends of abandoned utilities after appropriate verification procedures have taken place.
20. Contractor shall remove all existing signs, mailboxes, fences, landscaping, etc., required to avoid damage during construction and replace them to existing or better condition.
21. The Contractor shall be responsible for managing construction activities to ensure that public streets and right-of-ways are kept clean of mud, dust or debris. Dust abatement shall be maintained by adequate watering of the site by the Contractor.

**GRADING, PAVING & DRAINAGE:**

22. Unless otherwise noted, all grading, rocking and paving to conform to Oregon Standard Specifications for Construction (OSSC/ODOT/APWA), 2021 edition.
23. Clear and grub within work limits all surface vegetation, trees, stumps, brush, roots, etc. Do not damage or remove trees except as approved by the Owner's Representative or as shown on the drawings. Protect all roots two inches in diameter or larger.
24. Granular baserock shall conform to the requirements of OSSC (ODOT/APWA) 02630.10 (Dense Graded Base Aggregate), with no more than 10% passing the #40 sieve and no more than 5% passing the #200 sieve.
25. Compact granular baserock to 92% of the maximum dry density per AASHTO T-190 test method (Modified Proctor). Written baserock compaction test results from an independent testing laboratory must be received by the Owner's authorized representative before placing AC pavement, and a finished rock grade proof-roll (witnessed by the Owners authorized representative) must be performed.
26. Unless otherwise shown on the drawings or details, straight grades shall be run between all finish grade elevations and/or finish contour lines shown (exception: where grades are shown across sidewalks, slopes shall be adjusted to ensure that maximum allowable sidewalk cross slopes are not exceeded).
27. Finish pavement grades at transition to existing pavement shall match existing pavement grades or be feathered post joints with existing pavement as required to provide a smooth, free draining surface.
28. All existing or constructed manholes, cleanouts, monument boxes, gas valves, water valves and similar structures shall be adjusted to match finish grade of the pavement, sidewalk, landscaped area or median strip wherein they lie. Verify that all valve boxes and risers are clean and centered over the operating nut.
29. Contractor shall seed and mulch (uniformly by hand or hydroseed) all exposed slopes and disturbed areas which are not scheduled to be landscaped, including trench restoration areas. If the Contractor fails to apply seed and mulch in a timely manner during periods favorable for germination, or if the seeded areas fail to germinate, the Owner's Representative may (at his discretion) require the Contractor to install sod to cover such disturbed areas.

**PIPED UTILITIES:**

30. All tapping of existing sanitary sewer, storm drain mains, and manholes must be done by Contractor forces.
31. The Contractor shall have appropriate equipment on site to produce a firm, smooth, undisturbed subgrade at the trench bottom, true to grade. The bottom of the trench excavation shall be smooth, free of loose materials or loam material for the entire width of the trench prior to placing the granular bedding.
32. All pipes shall be bedded with minimum 6-inches of 3/4"-0 crushed rock bedding and backfilled with compacted 3/4"-0 crushed rock in the pipe zone (crushed rock shall extend a minimum of 12-inches over the top of the pipe in all cases). Unless CDF or other backfill is shown or noted on the drawings, crushed rock trench backfill shall be used under all improved areas, including pavement, sidewalks, foundation slabs, buildings, etc.
33. Granular trench bedding and backfill shall conform to the requirements of OSSC (ODOT/APWA) 02630.10 (Dense Graded Base Aggregate), 3/4"-0. Unless otherwise shown on the drawings, compact granular backfill to 92% of the maximum dry density per AASHTO T-190 test method (Modified Proctor).
34. Contractor shall arrange to abandon existing sewer and water services not scheduled to remain in service in accordance with approving agency requirements.
35. All piped utilities abandoned in place shall have all openings closed with concrete plugs with a minimum length equal to 2 times the diameter of the abandoned pipe.
36. The end of all utility service lines shall be marked with a 2"x-4 pointed white and wired to pipe stub. The pipe depth shall be written on the post in 2" block letters.

37. All non-metallic water, sanitary and storm sewer piping shall have an electrically conductive insulated 1/2 gauge solid core copper tracer wire the full length of the installed pipe using blue wire for water and green wire for storm and sanitary piping. Tracer wire shall be extended up into all valve boxes, catch basins, manholes and lateral cleanout boxes. Tracer wire penetrations into manholes shall be within 18 inches of the rim elevation and adjacent to manhole steps. The tracer wire shall be tied to the top manhole step or otherwise supported to allow retrieval from the outside of the manhole. All tracer wire splices shall be made with waterproof splices or waterproof/corrosion resistant wire nuts.
38. No trenches in sidewalks, roads, or driveways shall be left in an open condition overnight. All such trenches shall be closed before the end of each workday and normal traffic and pedestrian flows restored.

**WATER SYSTEM:**

39. City forces to operate all valves, including fire hydrants, on existing public mains.
40. All water mains to be installed with a minimum 36 inch cover to finish grade unless otherwise noted or directed. Water service lines shall be installed with a minimum 30-inch cover. Deeper depths may be required as shown on the drawings or to avoid obstructions.
41. Unless otherwise noted, water service pipe 3-inch and smaller on the private side of the meter shall be Schedule 40 PVC. Unless otherwise specified, private water service piping shall be hydrostatically pressure tested to a minimum of 150% of the maximum static pressure of the site. All materials and workmanship for all private water lines, including water lines located within any building envelope, shall be installed in conformance with Uniform Plumbing Code requirements. All water service pipe on the private side of the meter shall be installed by a licensed plumber in accordance with Uniform Plumbing Code requirements.
42. Contractor shall provide all necessary equipment and materials (including plugs, blowoffs, valves, service tops, etc.) required to flush, test and disinfect waterlines per the Approving Agency requirements.

**SANITARY SEWER SYSTEM:**

43. Unless otherwise specified, sanitary sewer pipe shall be solid wall PVC in conformance with ASTM D3034, SDR 35 (115") or ASTM F-679, PS 46 (218"). Minimum stiffness shall be 46 psi per ASTM D-2412 and joint type shall be elastomeric gasket conforming to ASTM D-3212. All other appurtenances and installation to conform to the Approving Agency's specifications. All materials and workmanship for all private sanitary sewers, including sewers located within any building envelope, shall be installed in conformance with Uniform Plumbing Code requirements.
44. Unless otherwise specifically noted on the drawings, manufactured fittings (tee or wye per Approving Agency) shall be used for all lateral connections to new sewer mains.
45. Contractor shall provide all necessary materials, equipment and facilities to test sanitary sewer pipe and appurtenances for leakage in accordance with testing schedule herein or the Approving Agency's construction standards, whichever are more stringent. Sanitary sewer pipe and appurtenances shall be tested for leakage. Leakage tests shall include an air test of all sewer mains and laterals and vacuum testing of the manholes. Manhole testing shall be performed after completion of AC pavement and final surface restoration.

**FRANCHISE & PRIVATE UTILITIES:**

46. Unless otherwise shown on the drawings or approved by jurisdiction having authority, all new franchise and private utilities (power, cable TV, telephone, gas, data communication, control, alarms, etc.) shall be installed underground. Installation of such utilities or associated conduits in a common trench with public water, sanitary sewer, or storm sewer is prohibited.
47. Contractor shall coordinate with gas, power, telephone, and cable TV Company for location of conduits in common trenches, as well as location or relocation of vaults, pedestals, etc. The Contractor shall be responsible for providing franchise utility companies adequate written notice of availability of the open trench (typically 10 days minimum), and reasonable access to the open trench. Unless otherwise approved in writing by the Approving Agency, all above-grade facilities shall be located in PUEs (where PUEs exist or will be provided by the development), and otherwise shall be placed in a location outside the proposed sidewalk location.
48. Power, telephone and TV trenching and conduits shall be installed per utility company requirements with pull wire. Contractor shall verify with utility company for size, location and type of conduit before construction, and shall ensure that trenches are adequately prepared for installation per utility company requirements. All changes in direction of utility conduit runs shall have long radius steel bends.
49. Contractor shall notify and coordinate with franchise utilities for removal or relocation of power poles, vaults, pedestals, manholes, etc. to avoid conflict with Public utility structures, fire hydrants, meters, sewer or storm laterals, etc.

**REQUIRED TESTING AND FREQUENCY TABLE**

|  | Party Responsible for payment   |                     |
|--|---|---------------------|
|  | Contractor  | Others (see note 1) |
| Streets, Fire Lanes, Common Driveways, Parking Lots, Pads, Fills, etc. |   |                     |
| Subgrade   | 1 Test/4000 SF./Lift (4 min), locations acceptable to approving agency (typically alternate sides of road or access aisles) | See note 2          |
| Engineered Fills   | 1 Test/4000 SF./Lift (4 min), locations acceptable to approving agency  | See note 2 & note 5 |
| Baserock   | 1 Test/4000 SF./Lift (4 min), locations acceptable to approving agency (typically alternate sides of road or access aisles) | See note 2 & note 3 |
| Asphalt  | 1 Test/6000 SF./Lift (4 min), locations acceptable to AA (Typ. alternate as above)  | See note 2          |
| Piped Utilities, All   |   |                     |
| Trench Backfill  | 1 Test/200 Foot Trench/Lift (4 min)   | See note 2          |
| Trench AC Restoration  | 1 Test/300 Foot Trench (4 min)  | See note 2          |

Note 1: "Others" refers to Owner's authorized Representative or Approving Agency as applicable. Contractor responsible for scheduling testing. All testing must be completed prior to performing subsequent work.

Note 2: Testing must be performed by an approved independent testing laboratory.

Note 3: In addition to in-place density testing, the subgrade and base rock shall be proof-rolled. The proofroll shall be immediately prior to (within 24 hours of) paving and shall be witnessed by the Owner's authorized Representative or approving agency. Location and pattern of testing and proofroll to be as approved or directed by said Owner's authorized Representative or approving agency.

Note 4: To be witnessed by the Owner's Representative or approving agency. The Contractor shall perform pretests prior to scheduling witnessed waterline or sanitary sewer pressure tests, or pipeline integrity test.

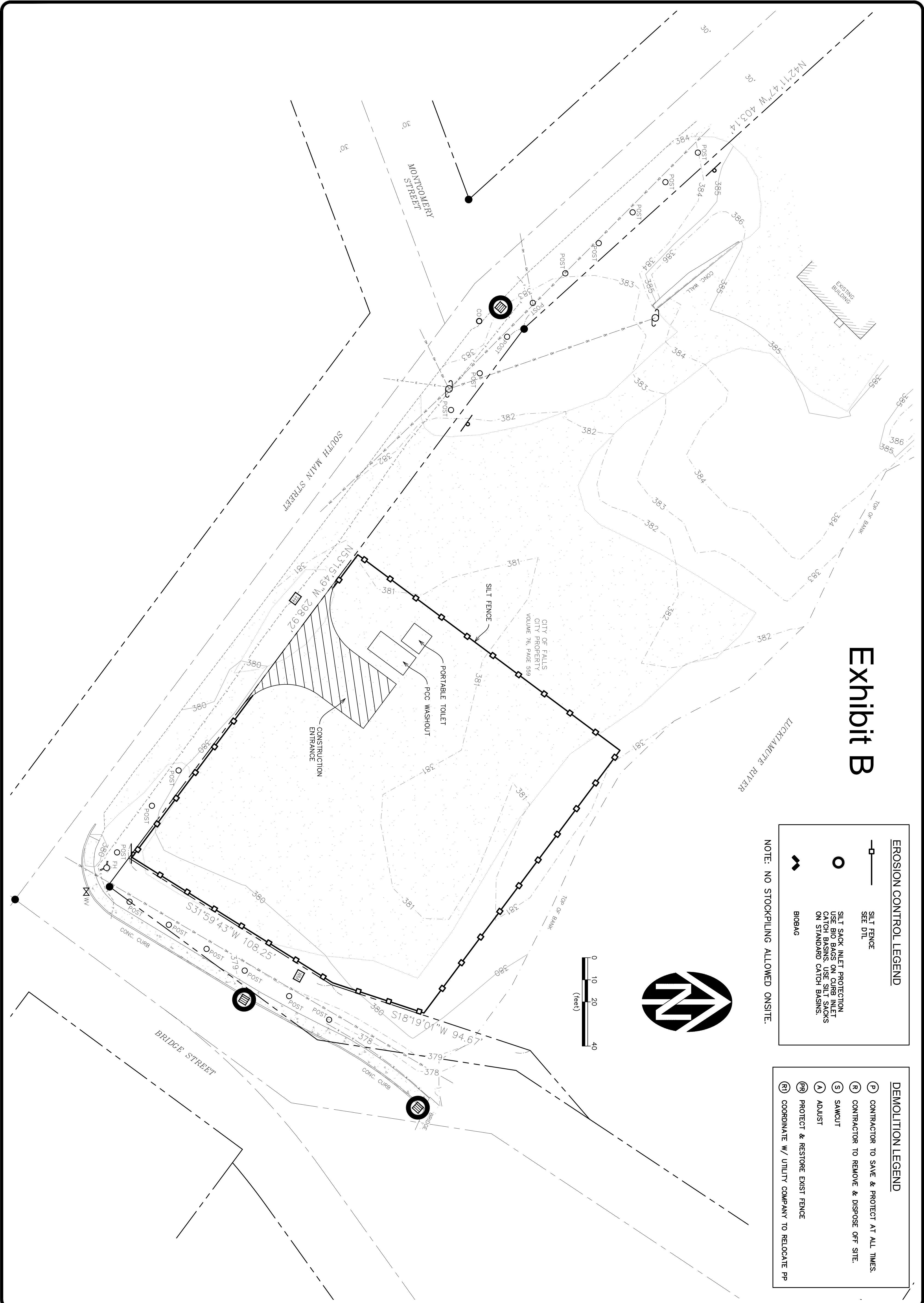
Note 5: The approved independent laboratory retained by the Contractor shall provide a certification (stamped by an engineer licensed in the State of Oregon) that the subgrade was prepared and all engineer fills were placed in accordance with the provisions of the construction drawings and the contract documents.

Note 6: Regardless of who is responsible for payment, the Contractor is responsible for scheduling and coordinating any and all required inspections and special inspections as required by applicable building codes or jurisdictions having authority.

|  |          |     |      |             |    |
|--|----------|-----|------|-------------|----|
| VERIFY SCALE   |          |     |      |             |    |
| BAR IS ONE INCH ON ORIGINAL DRAWING  |          |     |      |             |    |
| IF NOT ONE INCH ON ORIGINAL DRAWING, USE THE FOLLOWING SCALES ACCORDINGLY: |          |     |      |             |    |
| DSN.   | SAW      |     |      |             |    |
| DRN.   | AR       | 1   |      |             |    |
| CKD.   | SAW      |     |      |             |    |
| DATE:  | AUG 2022 | NO. | DATE | DESCRIPTION | BY |
|  |          |     |      | REVISIONS   |    |

WHITE OAK CONSTRUCTION  
 FALLS CITY COMMUNITY HEALTH CENTER  
**CONSTRUCTION NOTES**

DRAWING  
**C1.1**  
 JOB NUMBER  
**3504.0000.0**



# Exhibit B

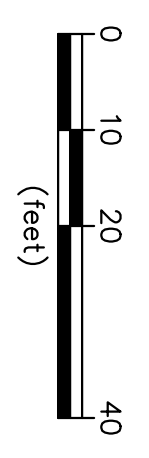
### EROSION CONTROL LEGEND

- SILT FENCE  
SEE DTL
- SILT SACK INLET PROTECTION  
USE BIO BAGS ON CURB INLET  
CATCH BASINS. USE SILT SACKS  
ON STANDARD CATCH BASINS.
- BIOBAG

NOTE: NO STOCKPILING ALLOWED ONSITE.

### DEMOLITION LEGEND

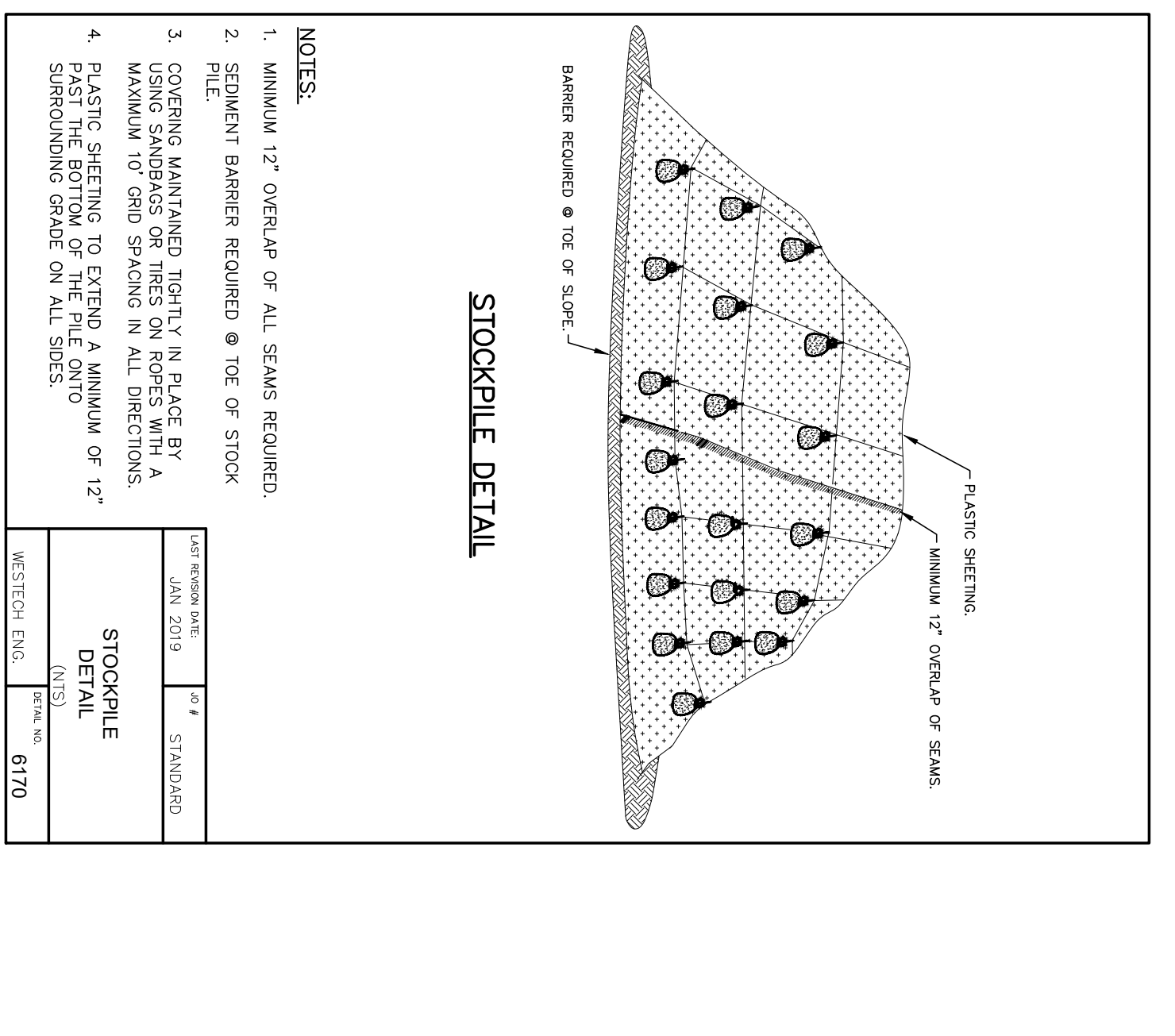
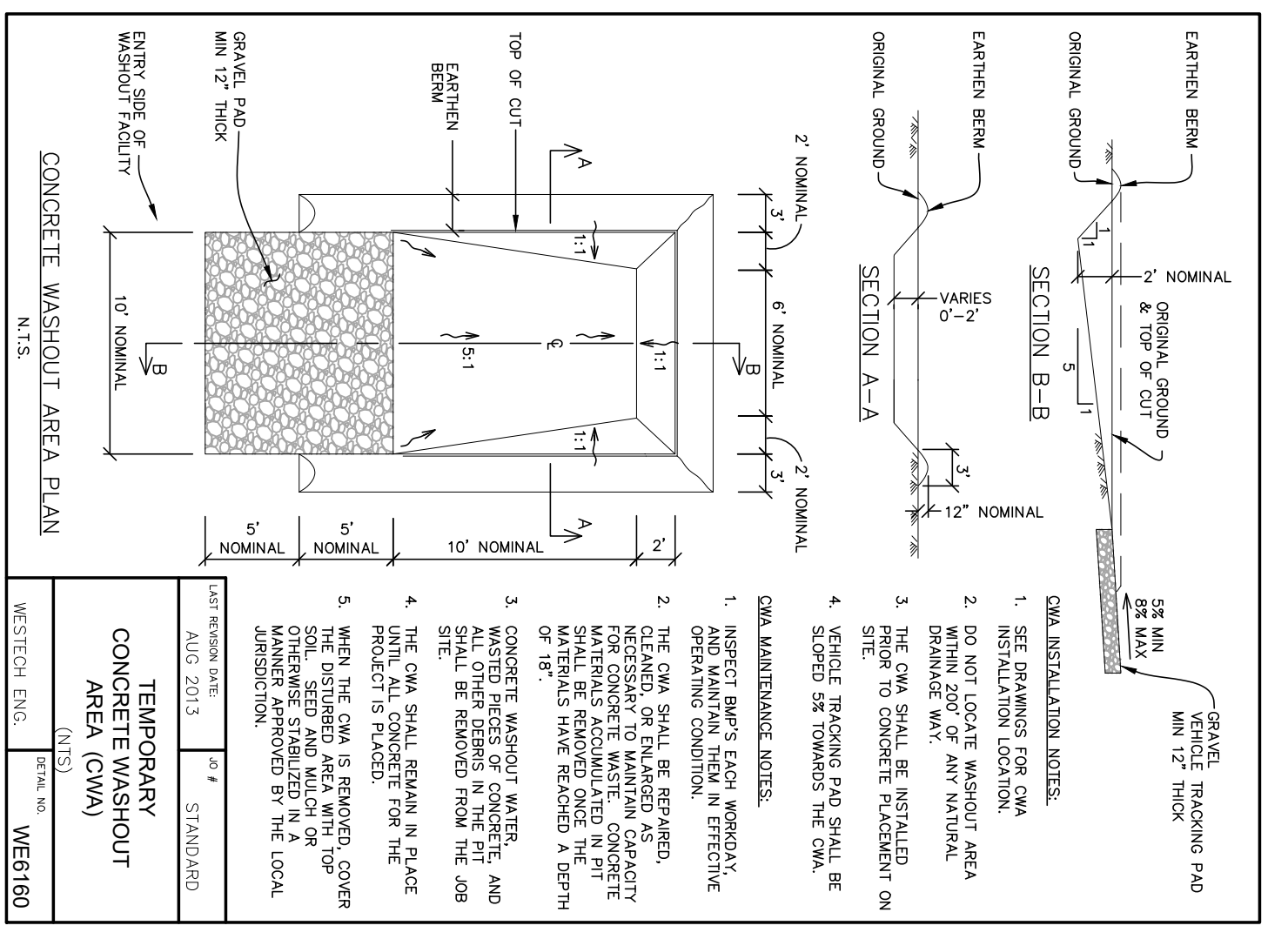
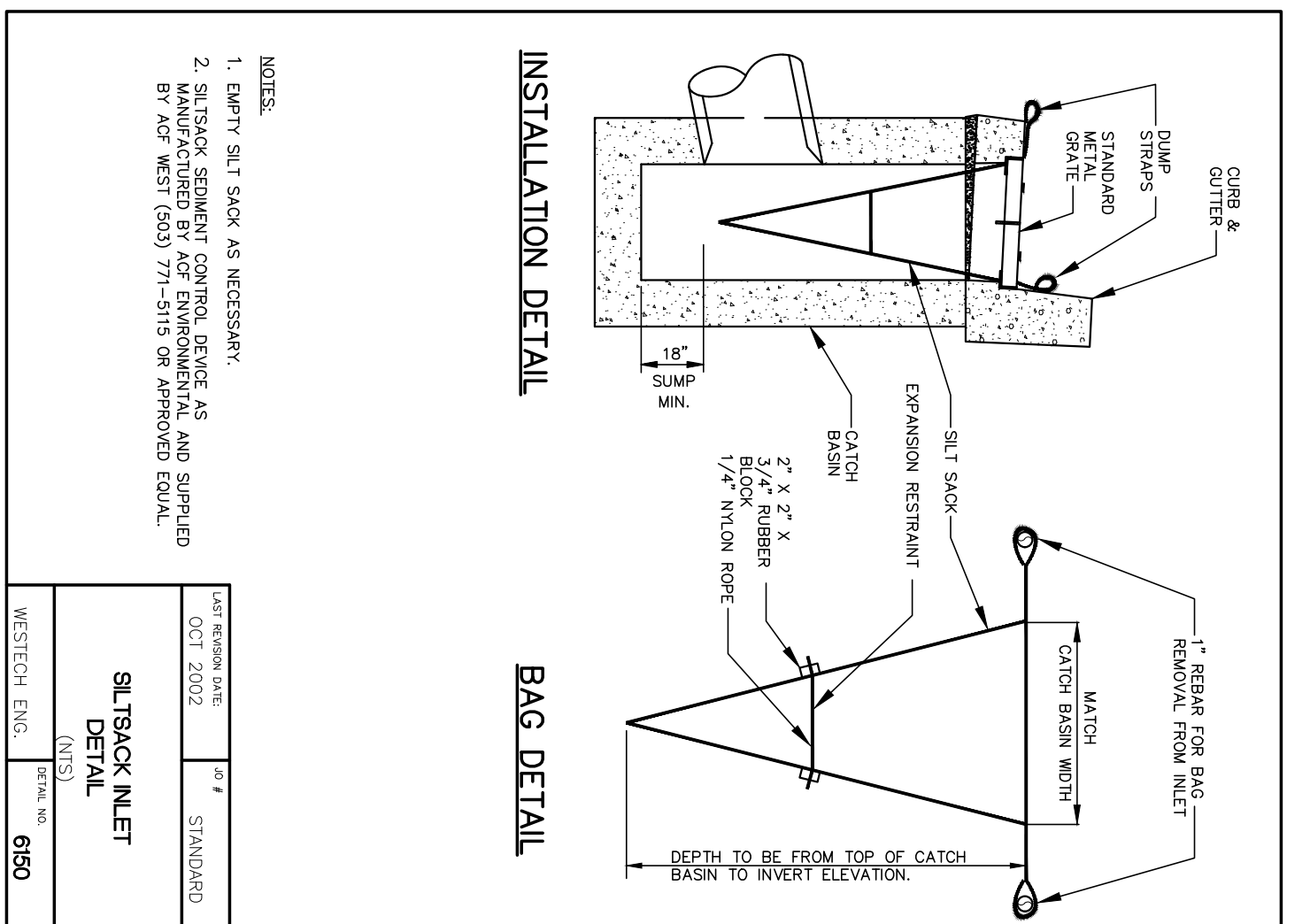
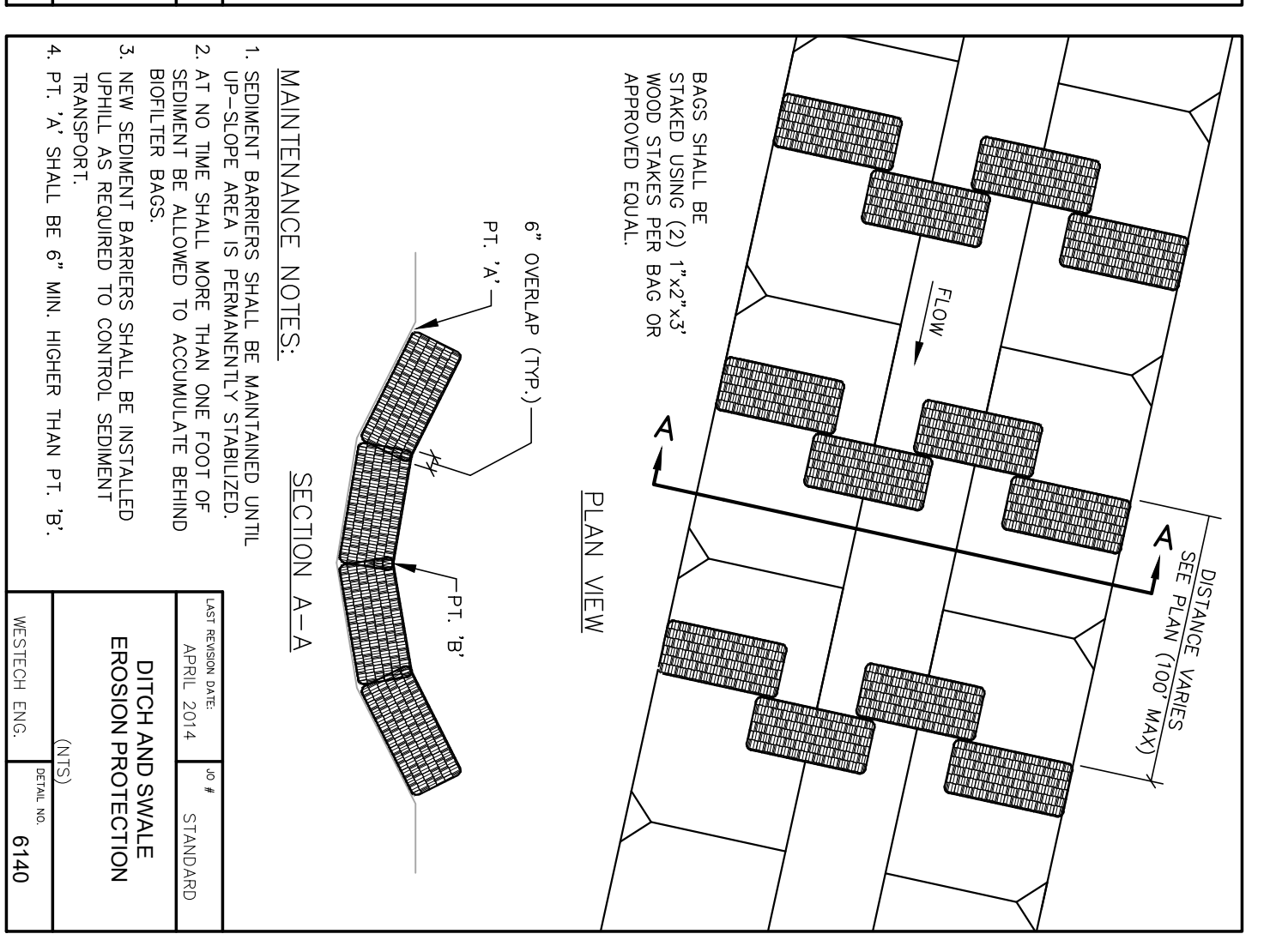
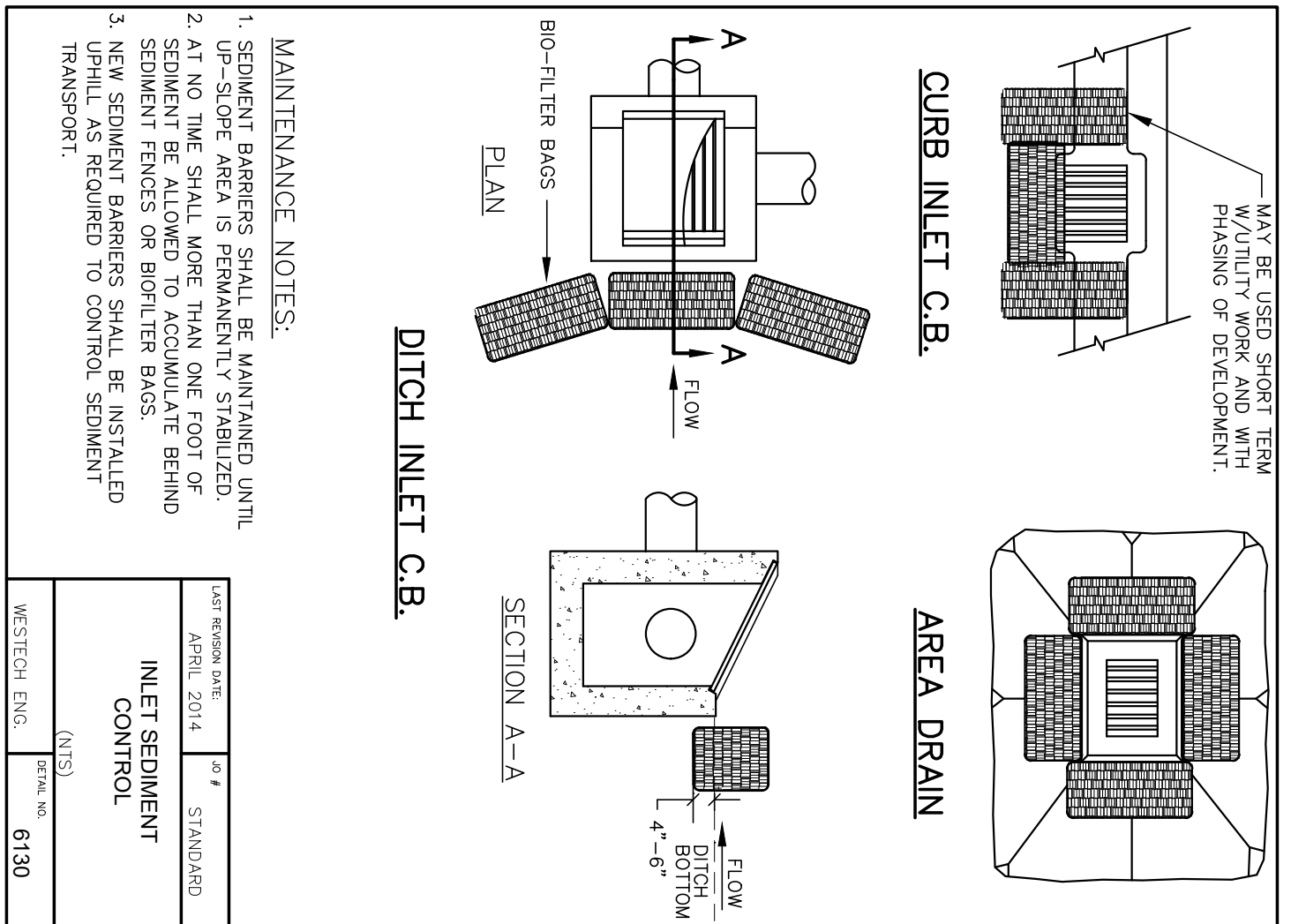
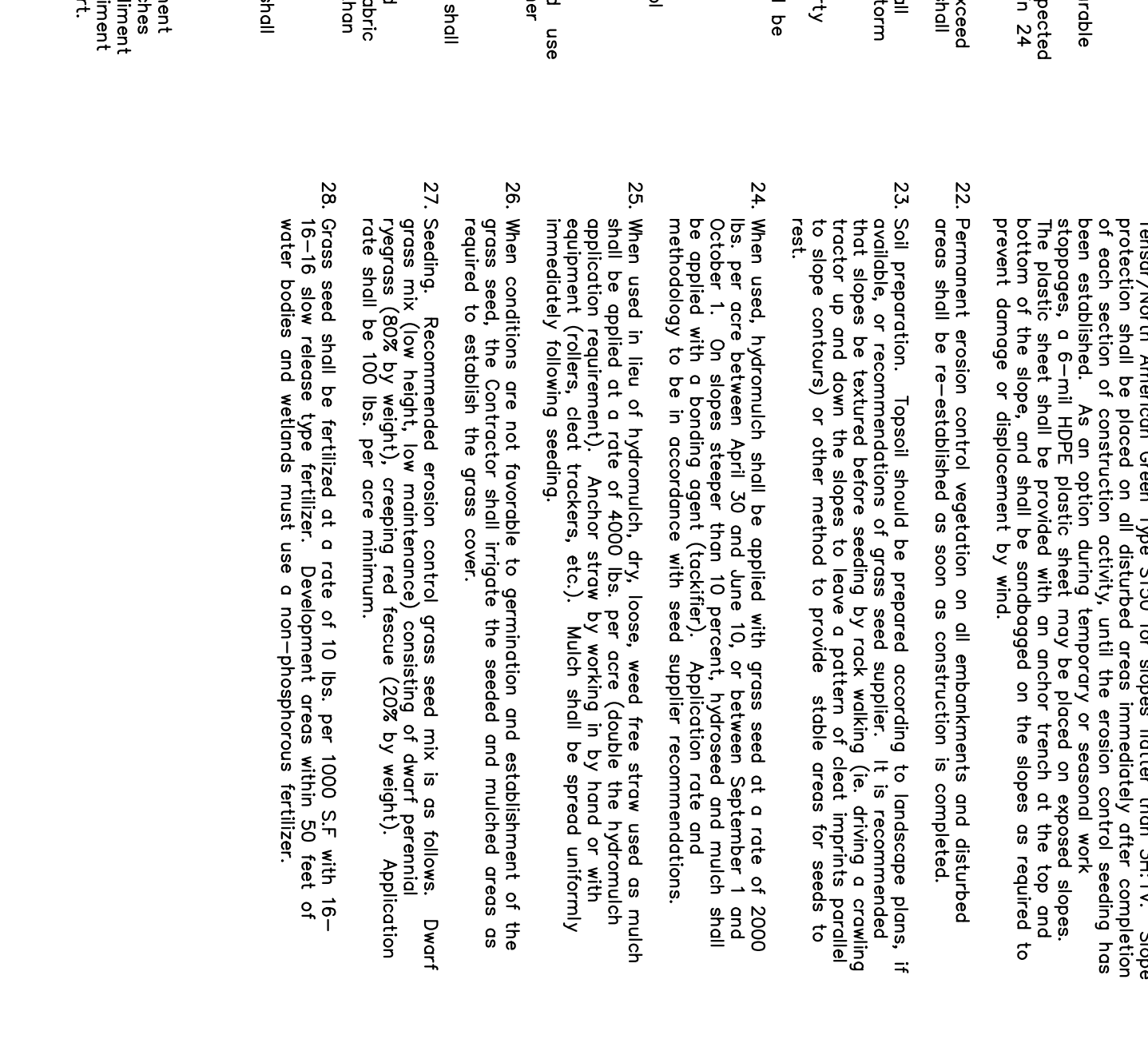
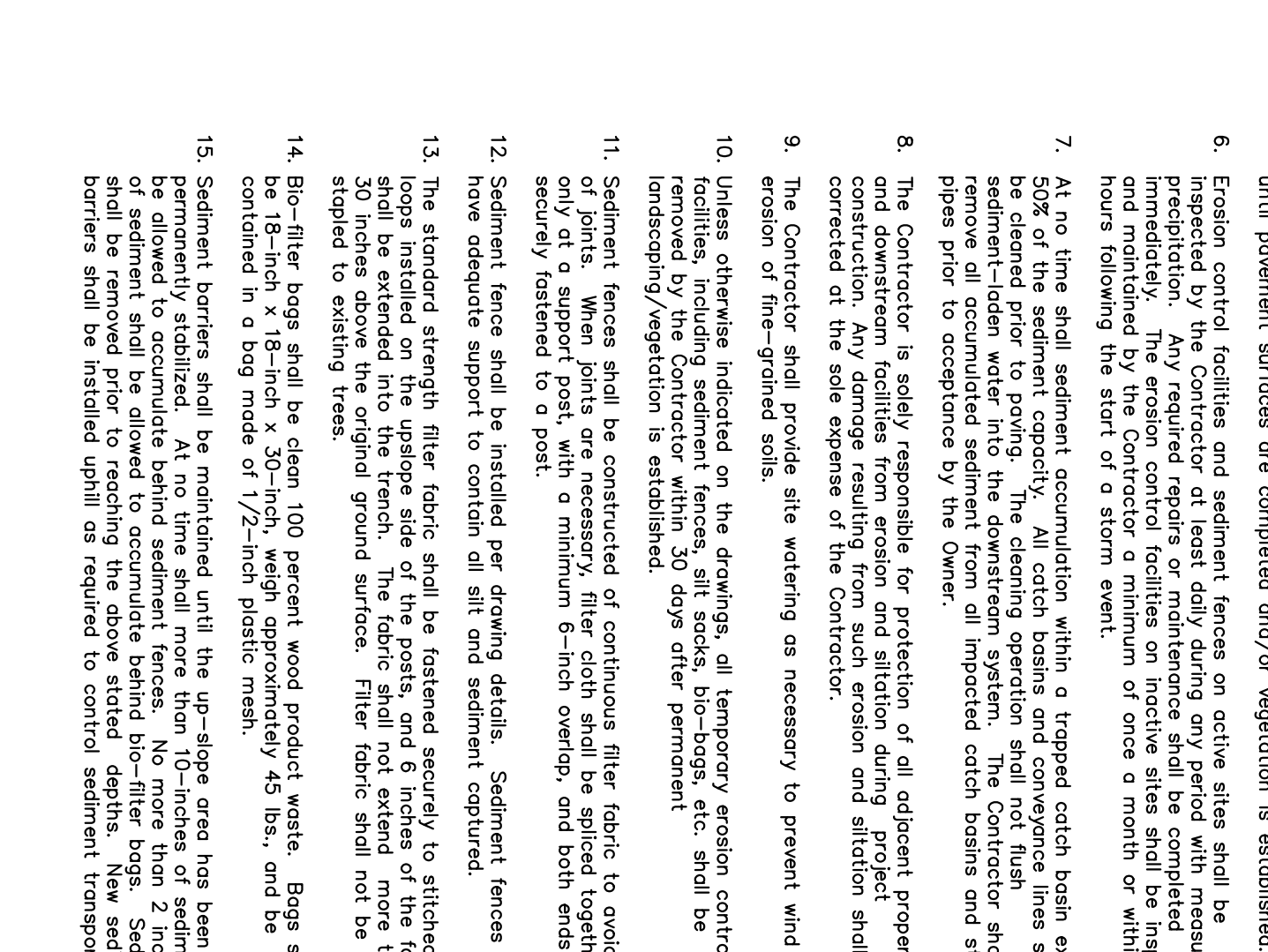
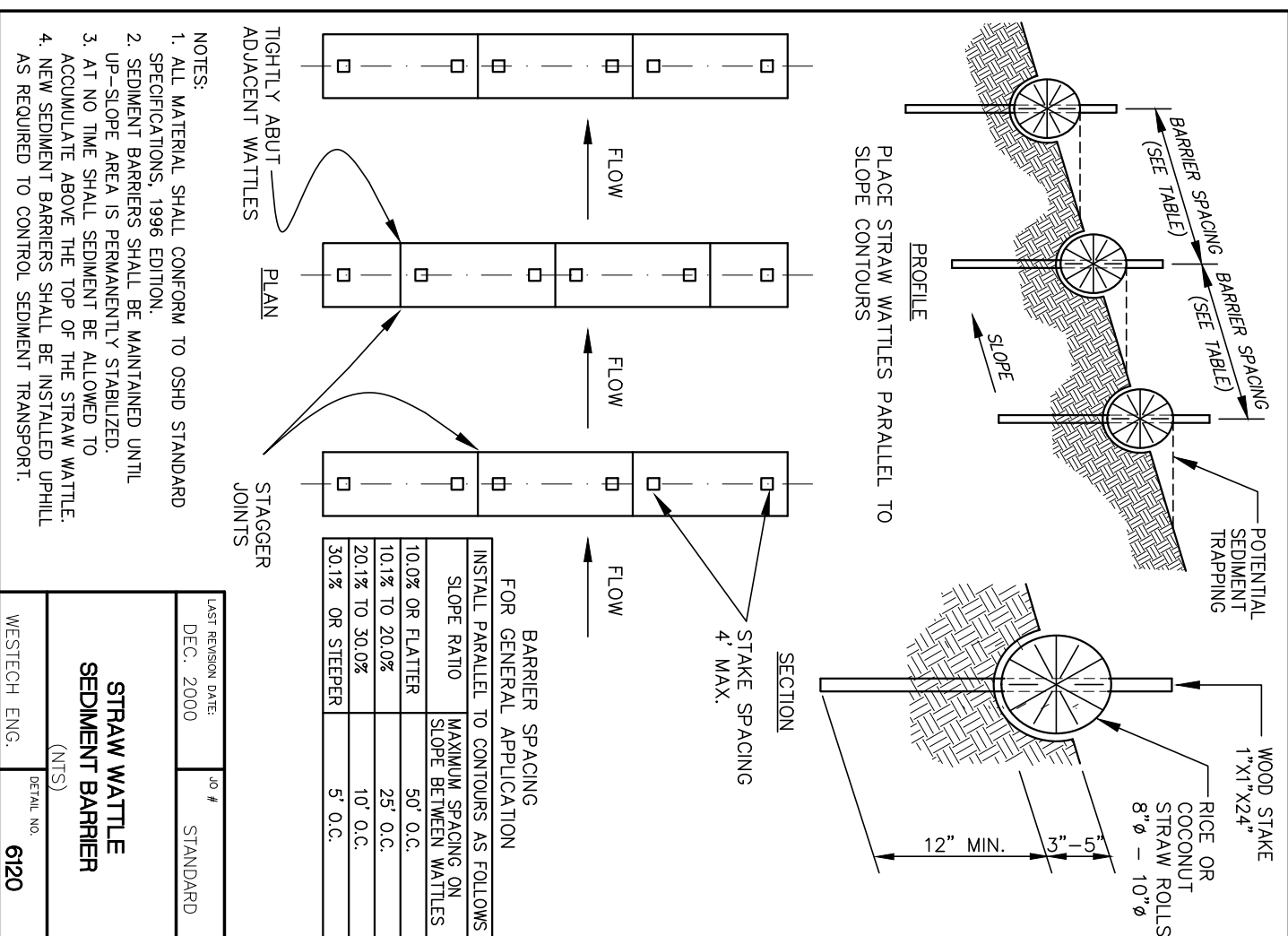
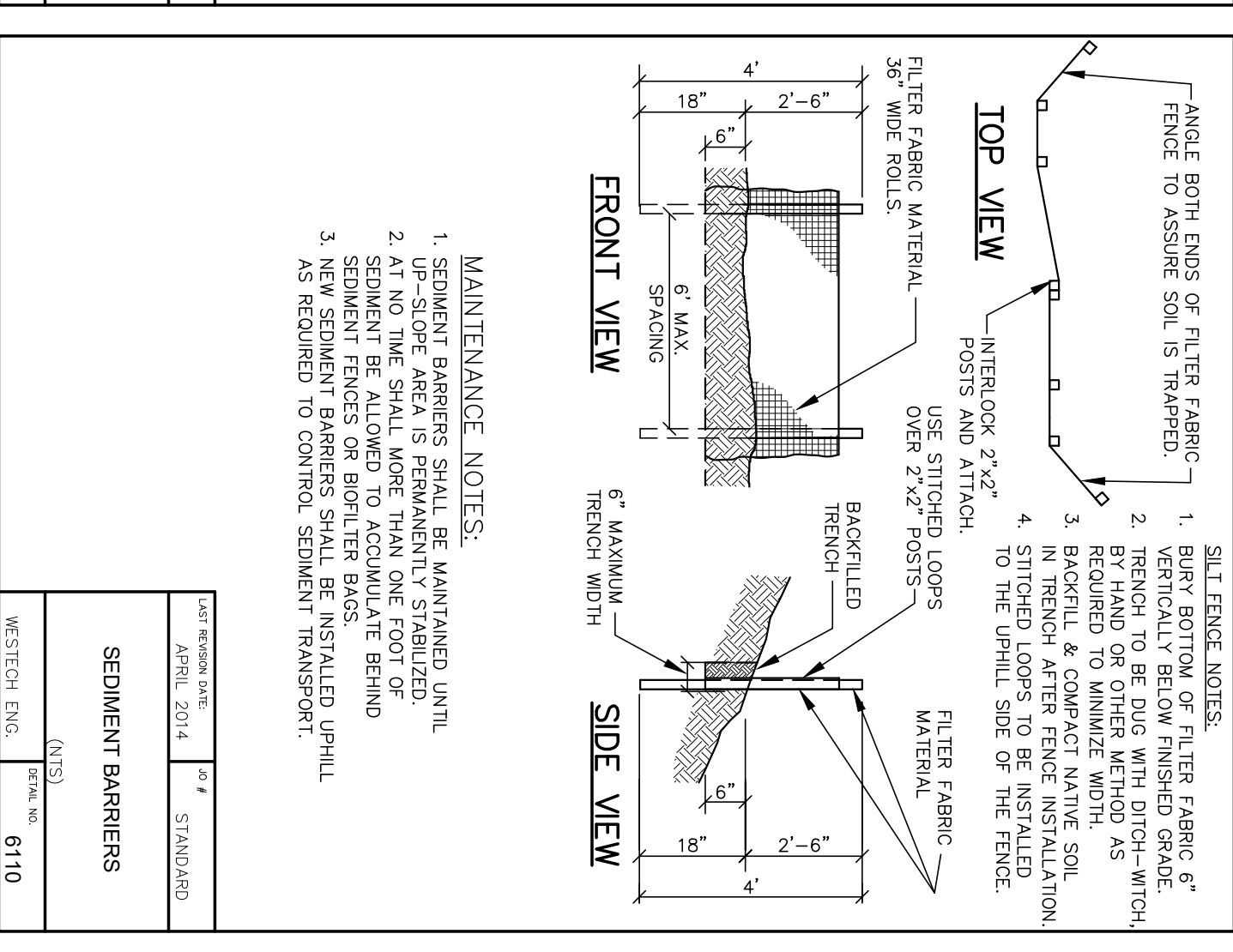
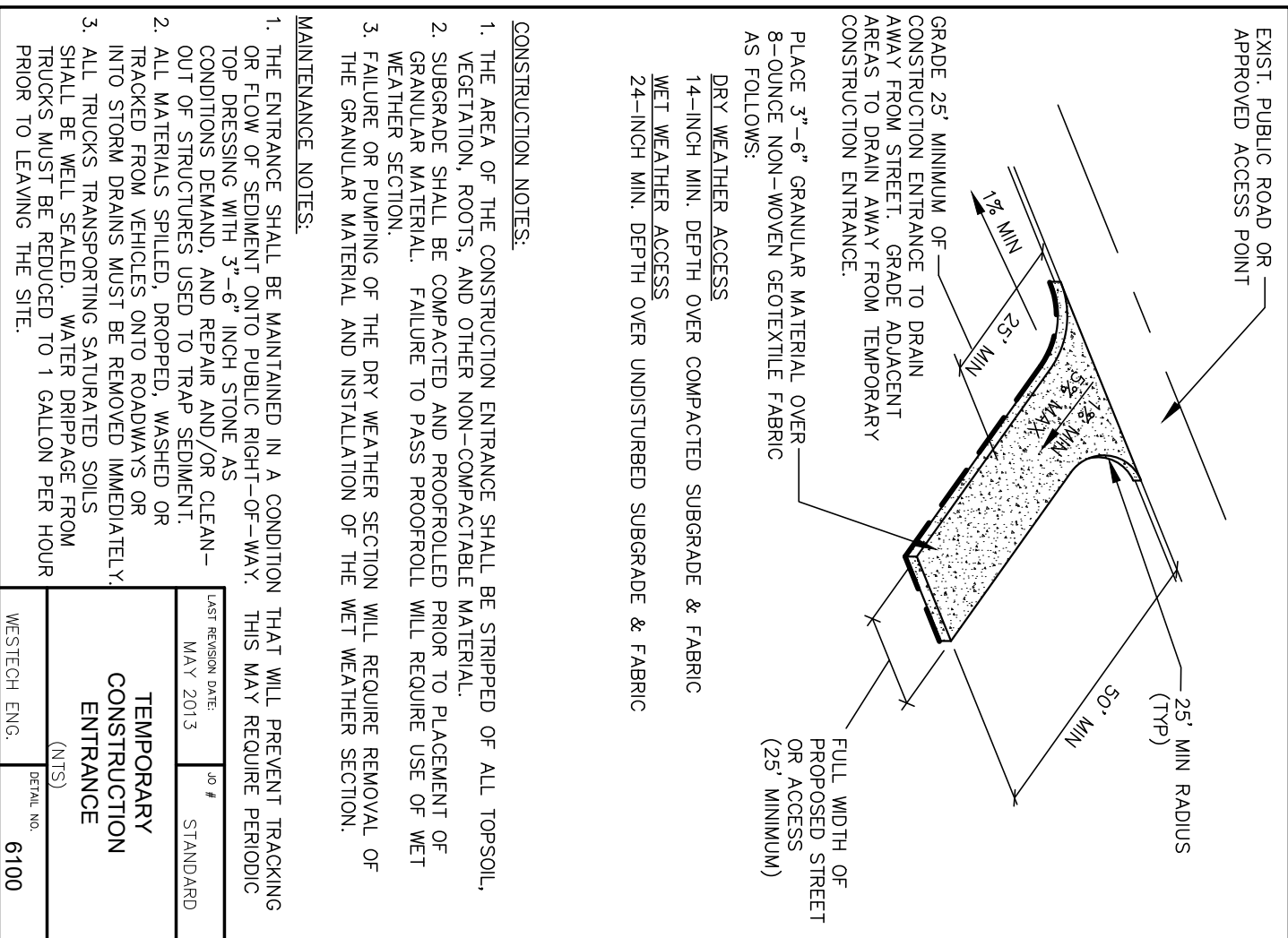
- CONTRACTOR TO SAVE & PROTECT AT ALL TIMES.
- CONTRACTOR TO REMOVE & DISPOSE OFF SITE.
- SAWCUT
- ADJUST
- PROTECT & RESTORE EXIST FENCE
- COORDINATE W/ UTILITY COMPANY TO RELOCATE PP



|  |   |  |   |               |                          |
|--|---|--|---|---------------|--------------------------|
| WHITE OAK CONSTRUCTION<br>FALLS CITY COMMUNITY HEALTH CENTER<br><b>EXISTING CONDITIONS,<br/>                 EROSION CONTROL,<br/>                 &amp; DEMOLITION PLAN</b> | DRAWING<br><b>C2.0</b><br>JOB NUMBER<br>3504.0000.0 |  | VERIFY SCALE<br>BAR IS ONE INCH ON ORIGINAL DRAWING<br>1" |               |                          |
|  |   |  | IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY  |               |                          |
|  |   |  | DSN. SAW<br>DRN. AR<br>CKD. SAW<br>DATE: AUG 2022         | NO. 1<br>DATE | DESCRIPTION<br>REVISIONS |
|  |   |  | BY PAGE 18  |               |                          |

**NOTE: FOR EROSION CONTROL ON THE SITE, CONTACT MR. STEVEN A. WARD (503-931-3460)**

# Exhibit B



- EROSION CONTROL NOTES:**
- Cleaning and grading erosion control measures shall be in place prior to site disturbance. All other necessary erosion control measures shall be implemented prior to starting work on the portion/phases of the project to which the measures are related. Erosion control measures shall be installed in accordance with the approved erosion control plan. Erosion control measures shall be installed in a manner that does not enter the drainage system, roadways, or violate applicable water quality standards.
  - The erosion control construction, maintenance, replacement and upgrading of the erosion control facilities is the responsibility of the Contractor until all construction is completed and approved, and permanent erosion control (i.e. vegetation/landscaping) is established on all disturbed areas.
  - All recommended erosion control procedures are dependent on construction methods, staging, site conditions, weather and scheduling. During the construction period, erosion control facilities shall be upgraded as necessary to maintain erosion control effectiveness and to ensure that sediment and sediment laden water does not leave the site.
  - The Contractor is responsible for control of sediment transport within project limits. An installed erosion control system does not adequately prevent erosion. Erosion control measures shall be installed and maintained as needed to prevent erosion. Erosion control measures shall be installed and maintained by the Contractor as necessary to ensure that sediment laden water does not leave the site. Additional measures shall be provided as required to ensure that all paved areas are kept clean for the minimum, installation of sediment barriers or silt fences in accordance with the details shown on the drawings. These measures shall be installed along all exposed embankments and cut slopes to prevent sediment transport.
  - All existing and newly constructed storm inlets and drains shall be protected until pavement surfaces are completed and/or vegetation is established.
  - Erosion control facilities and sediment fences on active sites shall be inspected by the Contractor at least daily during any period with measurable precipitation. Any required repairs or maintenance shall be completed immediately. The erosion control facilities on inactive sites shall be inspected and maintained by the Contractor a minimum of once a month or within 24 hours following the start of a storm event.
  - At no time shall sediment accumulation within a trapped catch basin exceed 50% of the sediment capacity. All catch basins and conveyance lines shall be cleaned and sediment removed from the system. The Contractor shall remove all accumulated sediment from all impacted catch basins and storm pipes prior to acceptance by the Owner.
  - The Contractor is solely responsible for protection of all adjacent property and downstream facilities from erosion and siltation during project construction. Any damage resulting from such erosion and siltation shall be corrected at the sole expense of the Contractor.
  - The Contractor shall provide site watering as necessary to prevent wind erosion of fine-grained soils.
  - Unless otherwise indicated on the drawings, all temporary erosion control facilities, including sediment fences, silt socks, bio-bags, etc. shall be removed by the Contractor within 30 days after permanent vegetation/landscaping/vegetation is established.
  - Sediment fences shall be constructed of continuous filter fabric to avoid use of joints. When joints are necessary, filter cloth shall be spliced together securely fastened to a post.
  - Sediment fences shall be installed per drawing details. Sediment fences shall have adequate support to contain all silt and sediment captured.
  - The standard strength filter fabric shall be fastened securely to stiched loops installed on the upslope side of the posts, and 6 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 12 inches into the trench. The fabric shall not be stapled to existing trees.
  - Bio-fiber bags shall be clean 100 percent wood product waste. Bags shall be 16-inch x 16-inch x 30-inch, weight approximately 45 lbs. and be contained in a bag made of 1/2-inch plastic resin.
  - Sediment barriers shall be maintained until the up-slope area has been permanently stabilized. At no time shall more than 10-inches of sediment of sediment shall be allowed to accumulate behind bio-fiber bags. Sediment shall be removed prior to reaching the above stated depths. New sediment barriers shall be installed uphill as required to control sediment transport.
  - Seeding. Recommended erosion control grass seed mix is as follows: Dwarf fescue (80% by weight), creeping red fescue (20% by weight). Application rate shall be 100 lbs. per acre minimum.
  - Grass seed shall be fertilized at a rate of 10 lbs. per 1000 SF with 16-16-16 slow release type fertilizer. Development areas within 50 feet of water bodies and wetlands must use a non-phosphorous fertilizer.
  - When conditions are not favorable to germination and establishment of the grass cover required to establish the grass cover.
  - Soil preparation. Topsoil should be prepared according to landscape plans, if available, or recommendations of grass seed supplier. It is recommended that slopes be textured before seeding by rock walking (ie driving a crawling applicator) or other method by hand or with a roller. The soil should be prepared to provide a seed bed.
  - When used, hydromulch shall be applied with grass seed at a rate of 2000 lbs. per acre between April 30 and June 10, or between September 1 and October 1. On slopes steeper than 10 percent, hydrosed and mulch shall be applied with a bonding agent (tackifier). Application rate and methodology to be in accordance with seed supplier recommendations.
  - When used in lieu of hydromulch, dry, loose, weed free straw used as mulch shall be applied at a rate of 4000 lbs. per acre (double the hydromulch application requirement). Mulch shall be applied by hand or with a roller. The mulch shall be fertilized with 10 lbs. of 16-16-16 slow release fertilizer. Development areas within 50 feet of water bodies and wetlands must use a non-phosphorous fertilizer.
  - Minimum wet weather slope protection. For slopes steeper than 3H:1V but less than 2H:1V, use Tensar/Aorta American Green 1/2\"/>

WHITE OAK CONSTRUCTION  
 FALLS CITY COMMUNITY HEALTH CENTER  
**EROSION CONTROL NOTES & DETAILS**

DRAWING: **C2.1**  
 JOB NUMBER: **3504.0000.0**

VERIFY SCALE: BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON ORIGINAL DRAWING, RE-SCALES ACCORDINGLY.

DSN. SAW  
 CKD. AR  
 DATE: AUG 2022

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| 1   |      |             |    |

Page 19

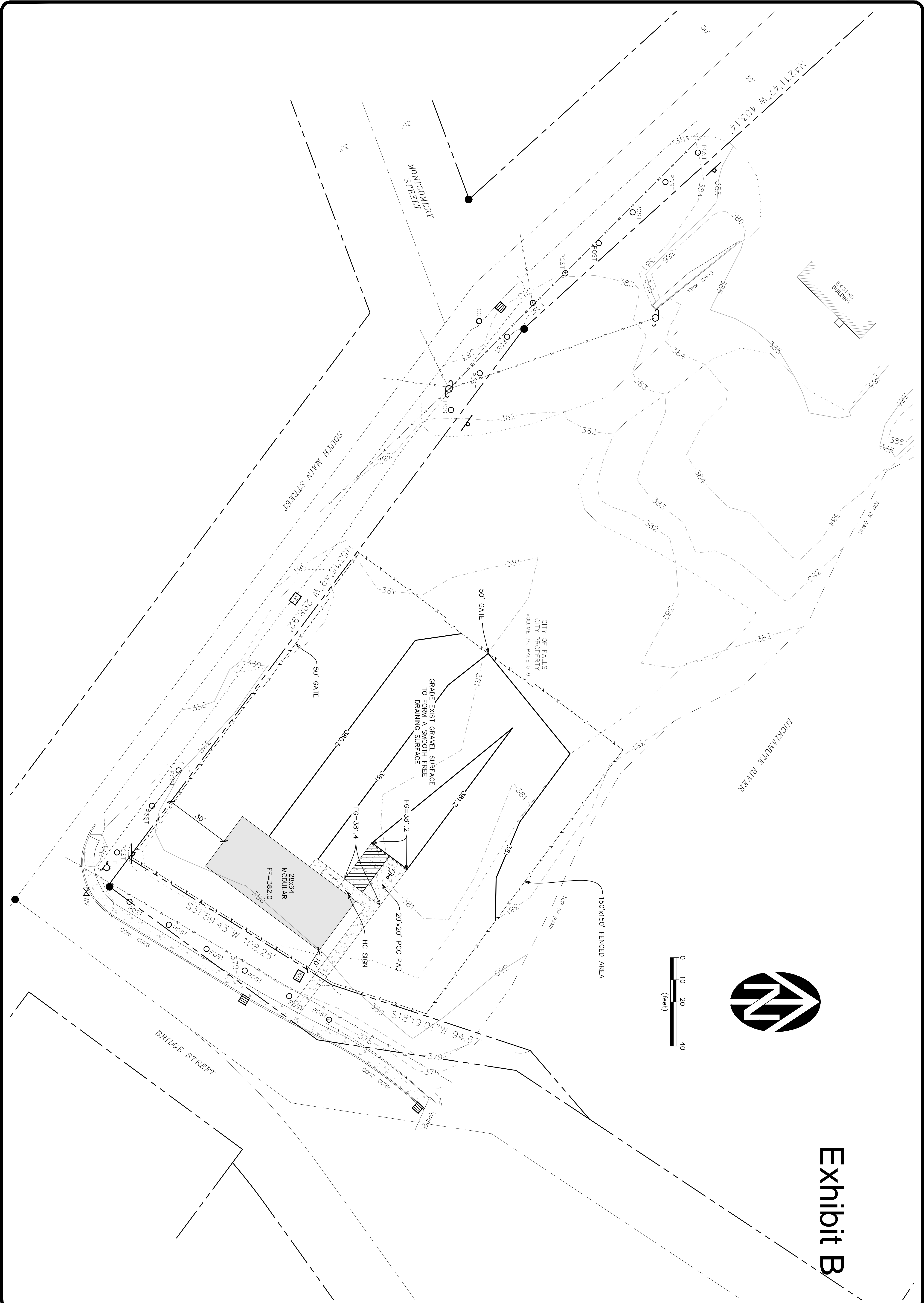
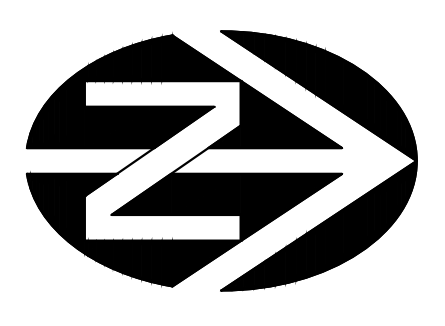
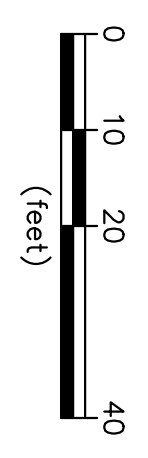
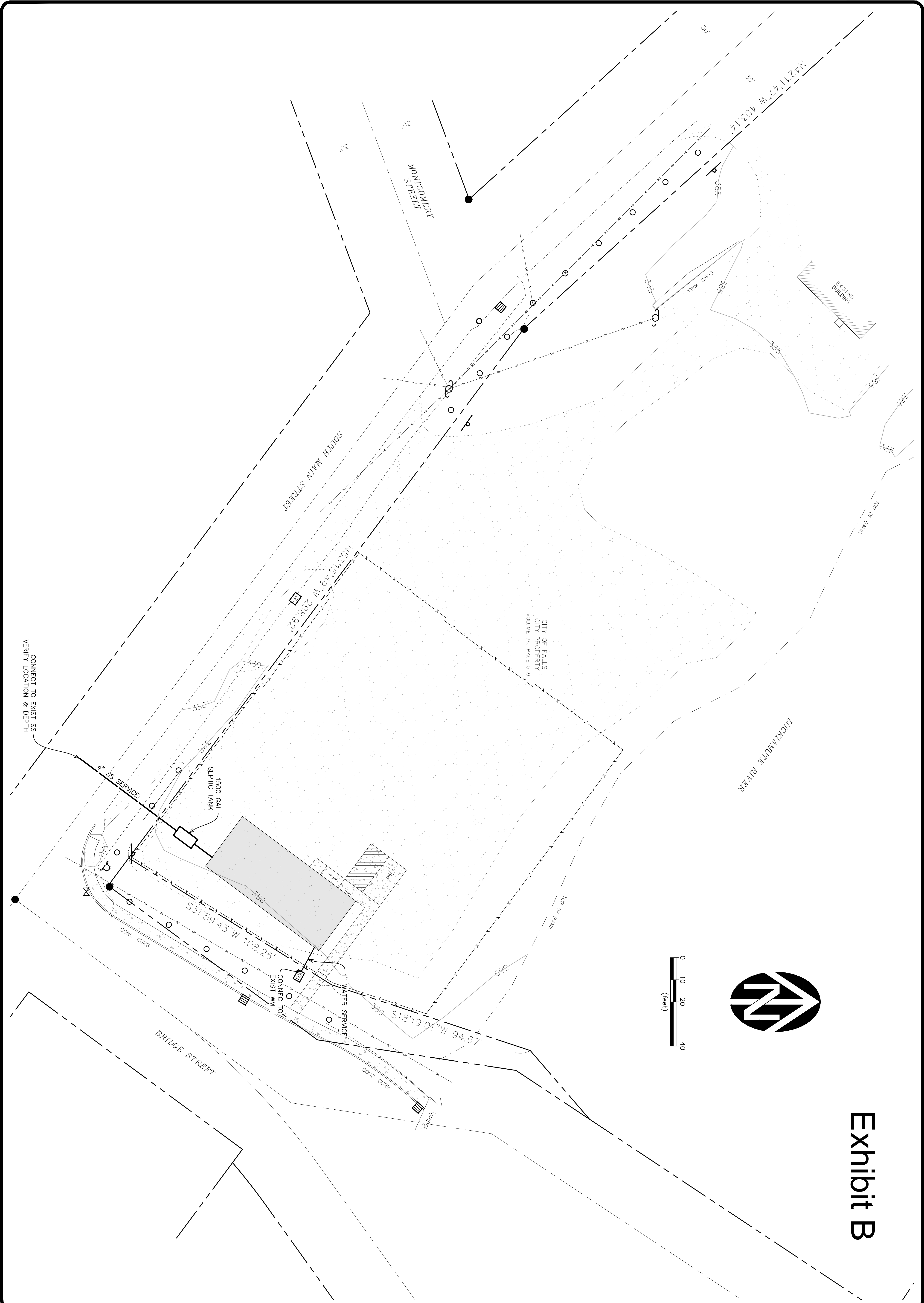


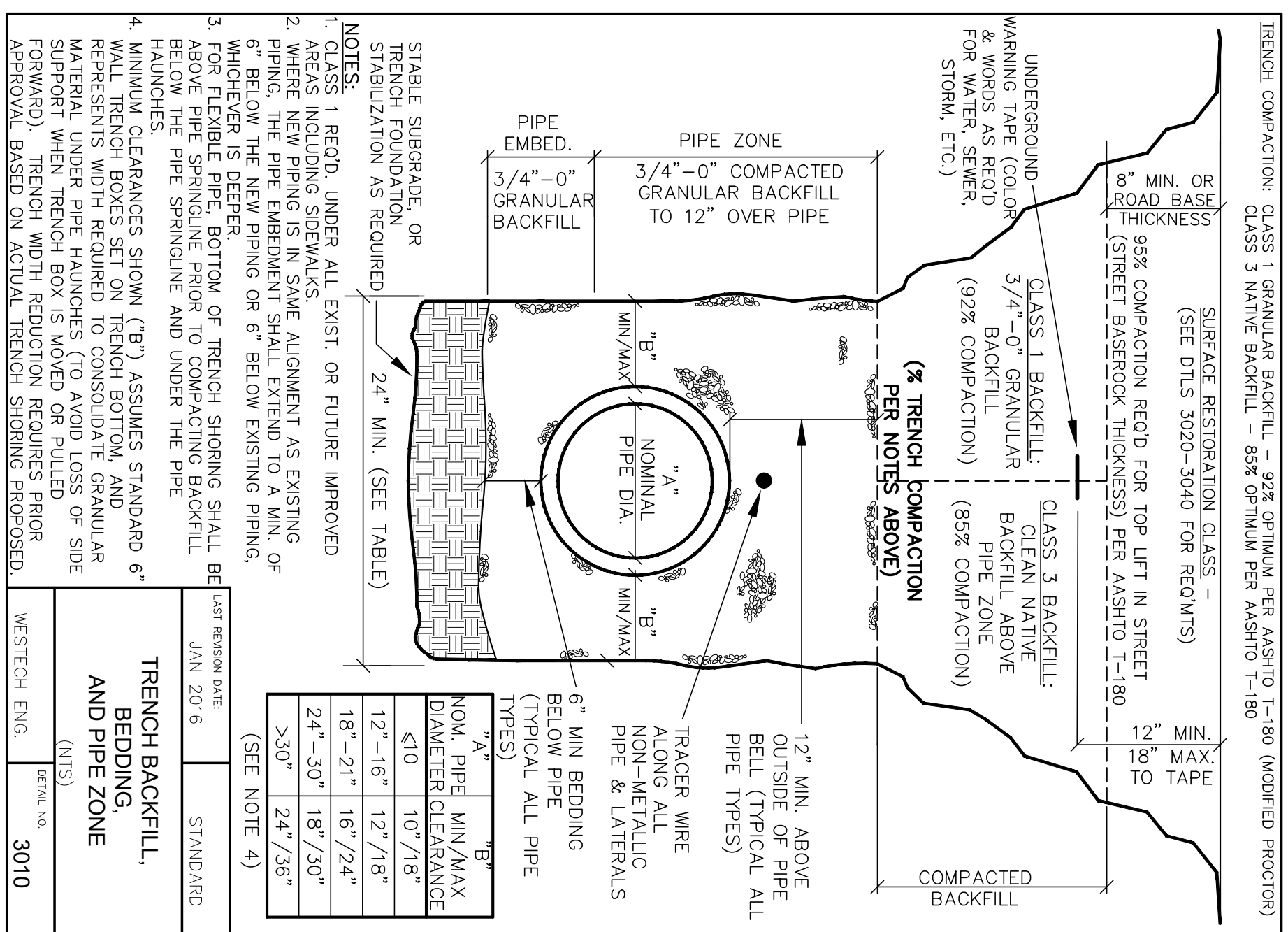
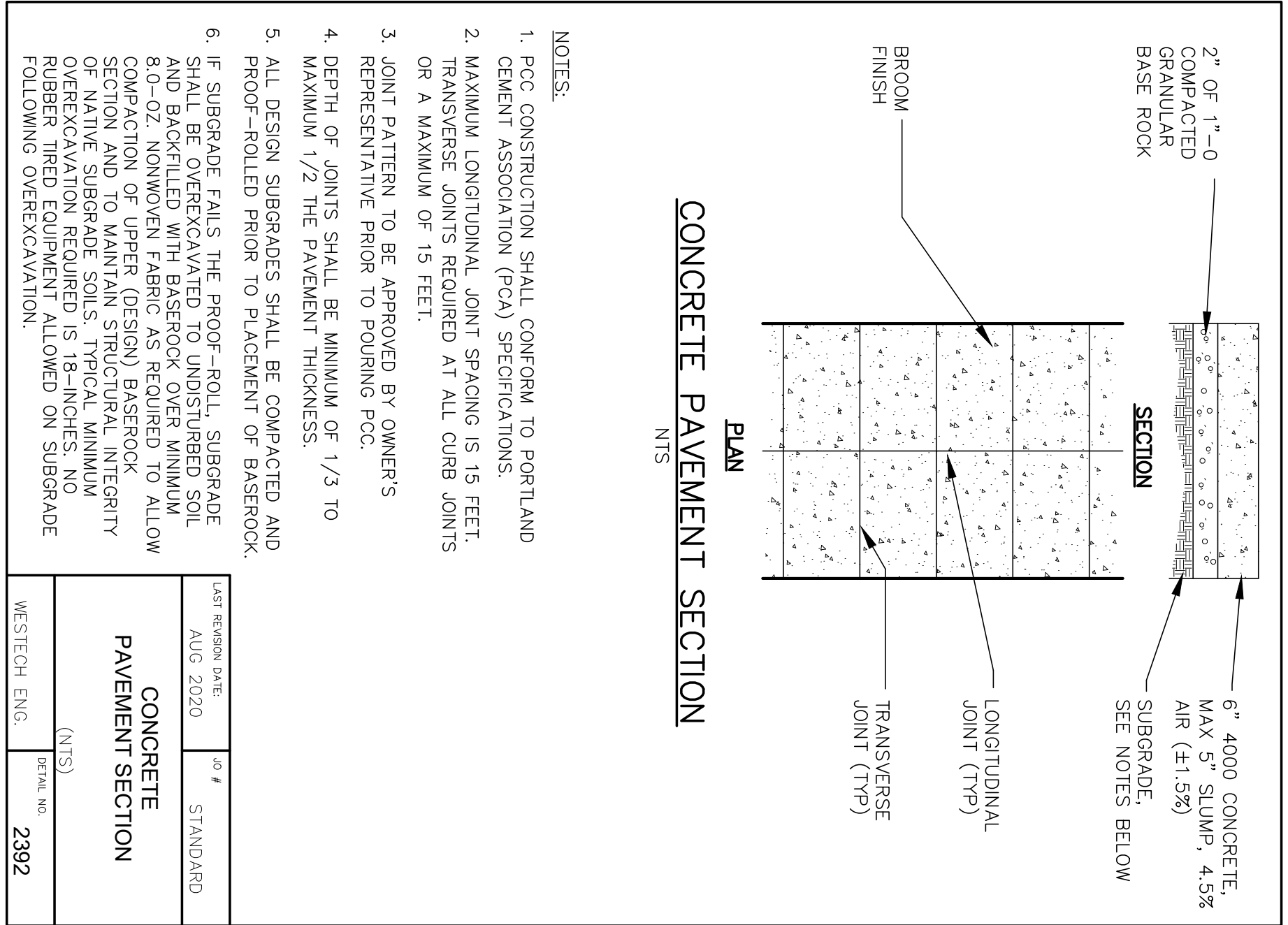
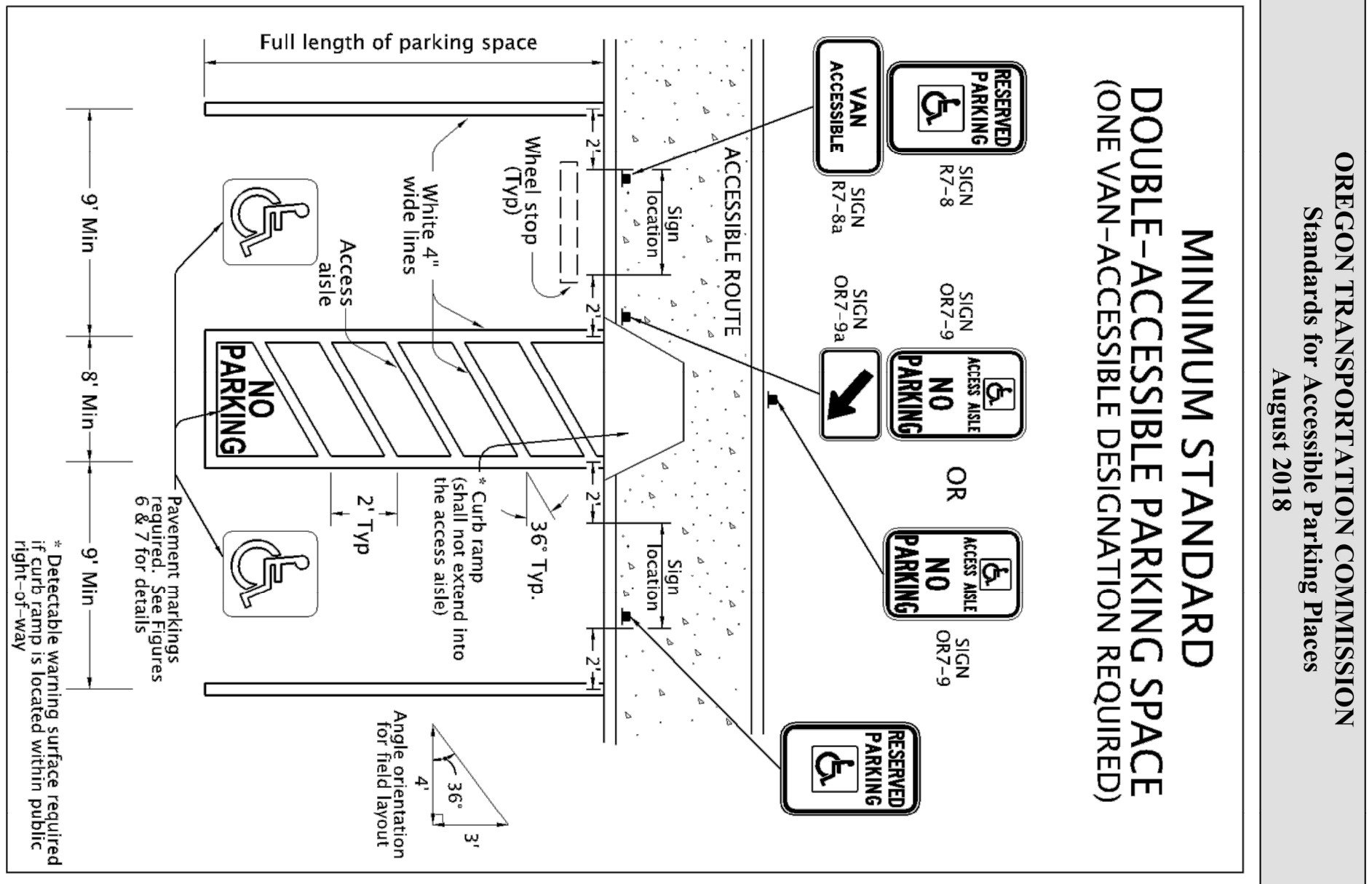
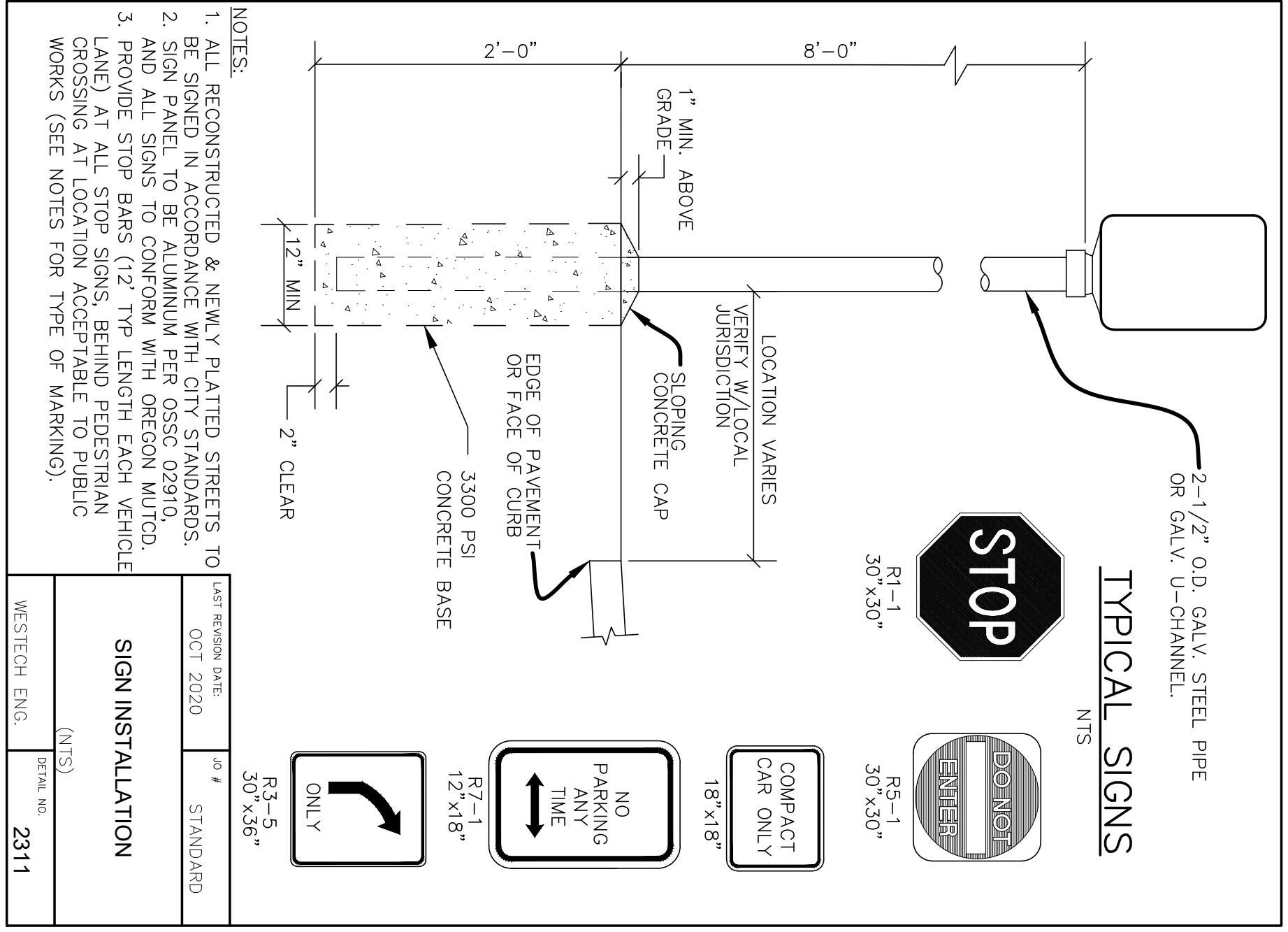
Exhibit B

|   |  |  |                         |  |   |   |   |            |
|---|--|--|-------------------------|--|---|---|---|------------|
| DRAWING<br><b>C3.0</b><br>JOB NUMBER<br>3504.0000.0 | WHITE OAK CONSTRUCTION<br>FALLS CITY COMMUNITY HEALTH CENTER |  | GRADING & DRAINAGE PLAN |  | VERIFY SCALE<br>BAR IS ONE INCH ON ORIGINAL DRAWING<br>0 10 20 40<br>(feet)<br>IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY | DSN. SAW<br>DRN. AR<br>CKD. SAW<br>DATE: AUG 2022 | NO. 1<br>DATE<br>DESCRIPTION<br>REVISIONS | BY<br>DATE |
|   |  |  |                         |  |   |   |   |            |



# Exhibit B

|   |  |  |                         |  |   |   |  |   |  |            |
|---|--|--|-------------------------|--|---|---|--|---|--|------------|
| DRAWING<br><b>C4.0</b><br>JOB NUMBER<br>3504.0000.0 | WHITE OAK CONSTRUCTION<br>FALLS CITY COMMUNITY HEALTH CENTER |  | OVERALL<br>UTILITY PLAN |  | VERIFY SCALE<br>BAR IS ONE INCH ON ORIGINAL DRAWING<br>IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY | DSN. SAW<br>DRN. AR<br>CKD. SAW<br>DATE: AUG 2022 |  | NO. 1<br>DATE<br>DESCRIPTION<br>REVISIONS |  | BY<br>DATE |
|   |  |  |                         |  |   |   |  |   |  |            |

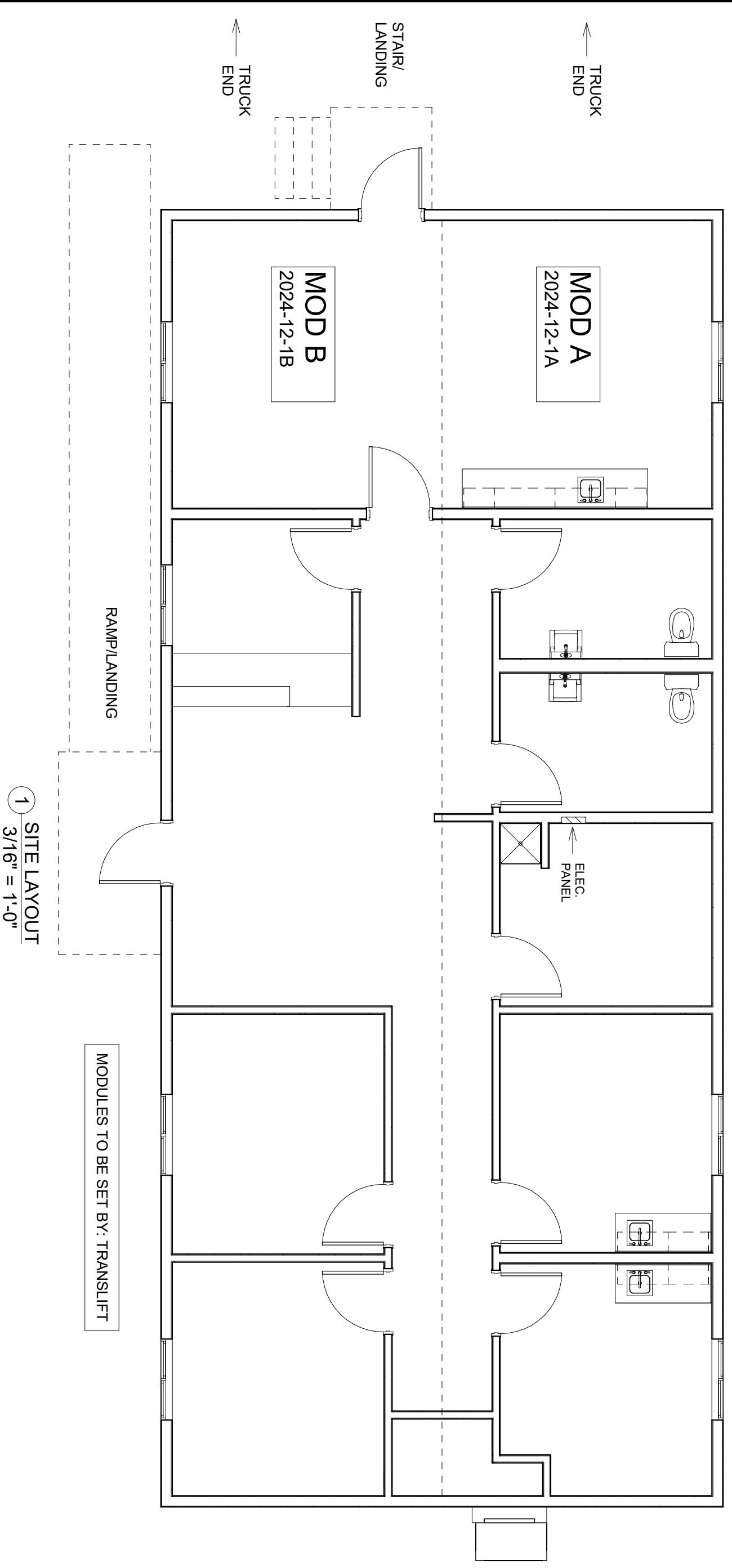
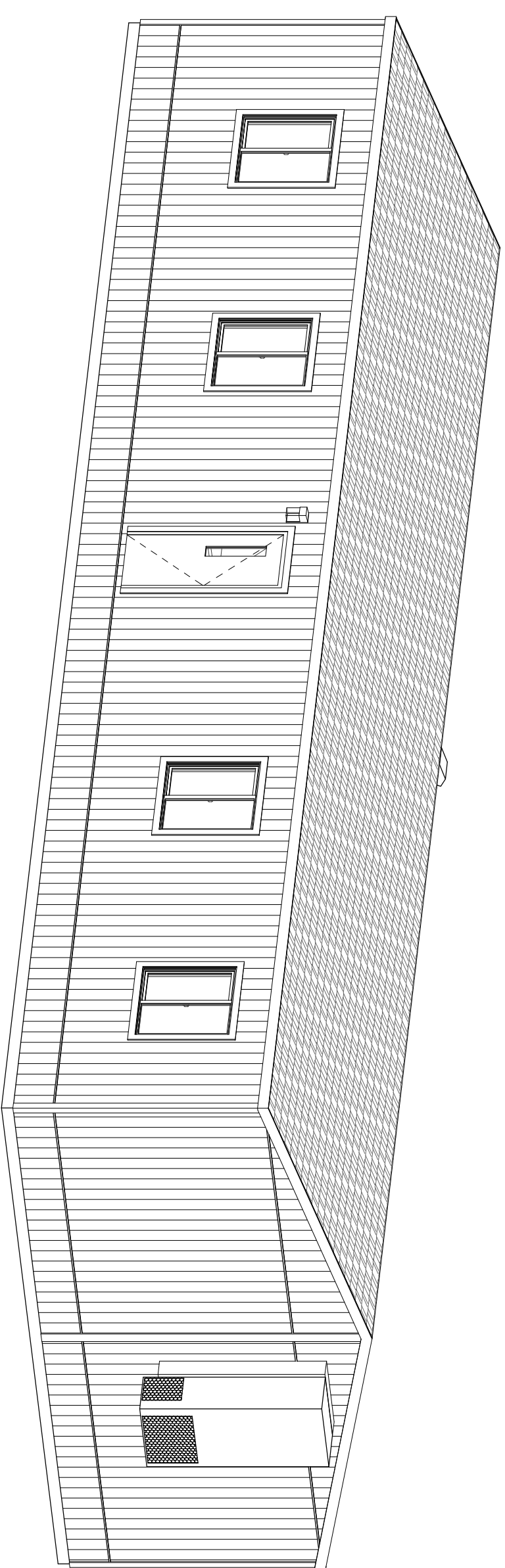


# Exhibit B

|  |               |                 |                           |   |   |       |      |             |    |
|--|---------------|-----------------|---------------------------|---|---|-------|------|-------------|----|
| WHITE OAK CONSTRUCTION<br>FALLS CITY COMMUNITY HEALTH CENTER | CIVIL DETAILS | DRAWING<br>C5.0 | JOB NUMBER<br>3504.0000.0 | VERIFY SCALE<br>BAR IS ONE INCH ON ORIGINAL DRAWING<br>IF NOT ONE INCH ON THIS SHEET USE THE SCALES ACCORDINGLY | DSN. SAW<br>DRN. AR<br>CKD. SAW<br>DATE: AUG 2022 | NO. 1 | DATE | DESCRIPTION | BY |
|--|---------------|-----------------|---------------------------|---|---|-------|------|-------------|----|

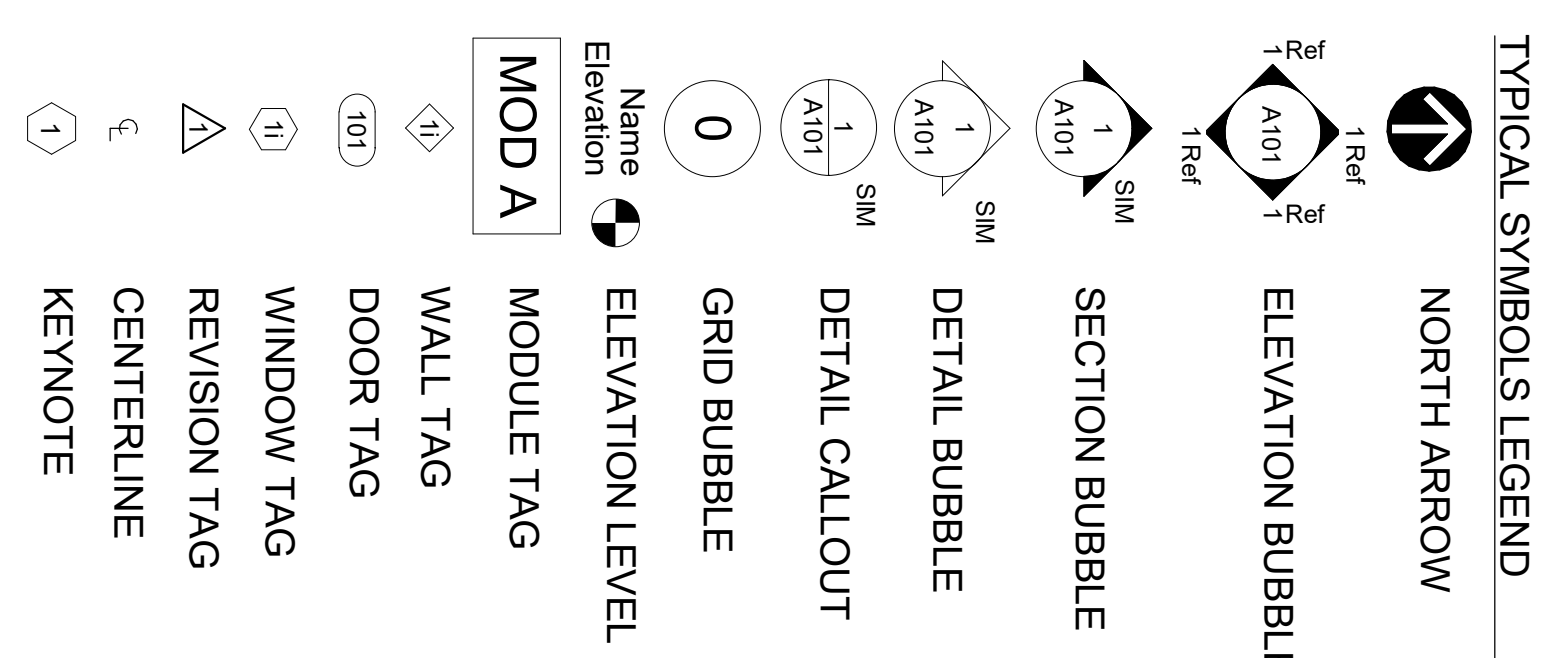
# WHC - FALLS CITY

## 28' x 64' MODULAR OFFICE



① SITE LAYOUT  
3/16" = 1'-0"

- ### GENERAL NOTES
- THE TERM IBC SHALL APPLY TO THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF OREGON. FOR PROJECTS IN ALL OTHER STATES IT SHALL APPLY TO THE CURRENT EDITION OF THE IBC OR IBC AS ADOPTED BY THAT STATE.
  - ALL CONTROLS AND HARDWARE SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES.
  - WHERE REQUIRED, PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH OTC SECTION 908.
  - AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO THE BUILDING AREA AS REQUIRED IN OSSC SECTION 1104.
  - WHERE FLOOR LIVE LOAD EXCEEDS 50 PSF, A DURABLE SIGN SHALL BE PROVIDED TO THE OWNER. THE SIGN SHALL BE PART OF THE BUILDING WHERE THIS INCREASED FLOOR LIVE LOAD OCCURS PER OSSC SECTION 106.1.
  - SPECIAL INSPECTIONS TO BE PROVIDED BY E.O.R. (U.N.O.)



### SHEET INDEX

| SN    | Sheet Name                  | Current Rev. | Rev. Issued By |
|-------|-----------------------------|--------------|----------------|
| A.0.0 | COVER SHEET                 |              |                |
| A.1.0 | FLOOR & CEILING PLANS       |              |                |
| A.2.0 | EXTERIOR ELEVATIONS         |              |                |
| A.3.0 | FINISH NOTES & DETAILS      |              |                |
| A.4.0 | INTERIOR ELEVATIONS         |              |                |
| E.0.1 | ELECTRICAL PANEL, & NOTES   |              |                |
| E.1.0 | ELECTRICAL & LIGHTING PLANS |              |                |
| M.1.0 | HVAC PLAN & NOTES           |              |                |
| P.1.0 | PLUMBING SCHEMATICS & NOTES |              |                |

# Exhibit C

### CUSTOMER APPROVAL

APPROVED  
 APPROVED EXCEPT AS NOTED  
 REVISE AS NOTED AND RESUBMIT

BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

PLEASE REVIEW AND COMMENT ON THESE DOCUMENTS. PLEASE RETURN APPROVED SET OR COMMENTS BY 3/22/2024. FAILURE TO RESPOND BY THIS DATE COULD CAUSE DELAYS, INCREASED COSTS, INABILITY TO INCORPORATE YOUR CHANGES OR ALL OF THE ABOVE.

### ENERGY CODE NOTES

- OREGON: ENERGY COMPLIANCE IS PROVIDED PER OESFC AND ASHRAE 4.2.1.1(a)
- ALL BUILDING THERMAL ENVELOPE INSULATION SHALL BE MARKED IN ACCORDANCE WITH ASHRAE 58.1.1 AND DOCUMENTED PER ASHRAE 98.1.11
- WALL AND FLOOR INSULATION SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. FLOOR CAVITY INSULATION SHALL REMAIN IN CONTACT WITH UNDERSIDE OF FLOOR SHEATHING PER ASHRAE 58.1.5
- PENETRATIONS OF THE AIR BARRIER SHALL BE CALKED, GASKETED OR SEALED PER ASHRAE 54.3.1.2
- OREGON AIR BARRIER COMPLIANCE: ALL AIR BARRIER MATERIALS SHALL BE ASTM E2178 RATED AS LISTED IN ASHRAE TABLE 5.8.3.1 FOOTNOTE (a) ITEMS 1-13 ASHRAE 5.8.2.2
- ALL PENESTRATION ASSEMBLIES SHALL BE LABELED BY THE MANUFACTURER PER ASHRAE 5.8.2.2
- AIR ECONOMIZER SHALL BE CAPABLE OF PROVIDING 100% OUTSIDE AIR PER ASHRAE 6.5.1.1.1
- ECONOMIZER HIGH-LIMIT SHUTOFF CONTROL IS ELECTRONIC ENTHALPY PER MANUFACTURER'S SPECIFICATIONS. ASHRAE 6.5.1.1.3
- MECHANICAL VENTILATION SYSTEM SHALL HAVE THE CAPABILITY TO REDUCE THE OUTSIDE AIR SUPPLY TO THE MINIMUM REQUIRED PER ASHRAE 6.5.3.2.1 AND 6.5.3.7(a)
- COMPLIANCE WITH ASHRAE 54.3.3 VESTIBULES TO BE PER OESFC E301.2(b)

### SYSTEM COMMISSIONING NOTES

- PRIOR TO CONSTRUCTION, A COMMISSIONING PLAN SHALL BE DEVELOPED TO INSURE PROPER INSTALLATION AND TESTING OF BUILDING SYSTEMS AS FOLLOWS:
  - MECHANICAL SYSTEM PER ASHRAE 6.9.2
  - NOT REQUIRED EXCEPTION #2 PER ASHRAE 4.2.5.2
  - NOT REQUIRED EXCEPTION #2 PER ASHRAE 6.9.2
  - NOT REQUIRED EXCEPTION #2 PER ASHRAE 4.2.5.2
  - NOT REQUIRED EXCEPTION #2 PER ASHRAE 4.2.5.2
  - NOT REQUIRED EXCEPTION #2 PER ASHRAE 4.2.5.2
- THIS STRUCTURE IS DESIGNED FOR COMPLIANCE WITH THE REQUIREMENT TO MEET OSSC SECTION 3111 SOLAR ENERGY SYSTEMS.
  - SOLAR ENERGY SYSTEM PER OSSC 3111.3 AND 3111.3.1 (ITEM #1)

### SOLAR READINESS NOTES - OREGON

### ABBREVIATIONS

| AB     | DESCRIPTION                   | FD      | DESCRIPTION                   |
|--------|-------------------------------|---------|-------------------------------|
| AB     | ANCHOR BOLT ADJUSTABLE        | FDN     | FLOOR DRAIN                   |
| ADU    | ADJUSTABLE ABOVE FINISH FLOOR | FEX     | FIRE EXTINGUISHER             |
| AL     | ALUMINUM                      | F.F.C.  | FIRE EXTINGUISHER CABINET     |
| ALF    | BRONZE ANODIZED               | F.F.G.  | FIBERGLASS                    |
| BA     | BATH                          | F.F.I.  | FIBERGLASS INSULATION         |
| BLK    | BLOCK                         | FIN     | FINISH                        |
| B.O.   | BOTTOM OF                     | F.O.FIN | FACE OF FINISH                |
| BOT    | BOTTOM                        | F.O.FRM | FACE OF FRAMING               |
| BRCH   | BIRCH                         | F.FS    | FLOOR FINISH                  |
| BRO    | BOTTOM VENT                   | F.F.S   | FLOOR FINISH                  |
| BRN    | BROWN                         | F.F.S   | FLOOR FINISH                  |
| BRD    | BOTTOM CONTROL JOINT          | F.F.S   | FLOOR FINISH                  |
| CL     | CENTERLINE                    | G.ALV.  | GALVANIZED                    |
| CLG    | CEILING                       | G.C.C.  | GENERAL CONTRACTOR COORDINATE |
| CLR    | CONCRETE MASONRY UNIT         | G.LB    | GLUE LAMINATE                 |
| CMU    | CONCRETE MASONRY UNIT         | G.LB    | GLUE LAMINATE                 |
| CONC.  | CONCRETE                      | H.B     | HOLLOW CORE                   |
| CONT.  | CONTINUOUS                    | H.C     | HOLLOW CORE                   |
| CPT    | CARPET                        | H.F     | HEM FIR                       |
| DBL    | DOUBLE DRINKING FOUNTAIN      | H.M     | HOLLOW METAL                  |
| DF     | DOWNSPOUT                     | H.S.S   | HOLLOW STRUTURAL SECTION      |
| DM     | DIMENSION                     | H.S.S   | HOLLOW STRUTURAL SECTION      |
| DS     | DOWNSPOUT                     | INSUL   | INSULATION                    |
| DTL    | DETAIL                        | INT.    | INTERIOR                      |
| DW     | DISHWASHER                    | KD      | KNOCK DOWN                    |
| E.A.C. | ELECTRICAL                    | L       | LONG                          |
| E.A.C. | ELECTRICAL                    | LAV     | LAVATORY                      |
| ELEV.  | ELEVATIONS                    | LAV     | LAVATORY                      |
| EQUIP. | EQUIPMENT                     | L.HOS   | LEFT HAND OUT SWING           |
| EXIST. | EXISTING                      | L.VL    | LAMINATED VENEER LUMBER       |
| EXT.   | EXTERIOR                      |         |                               |
| E.W.   | EACH WAY                      |         |                               |

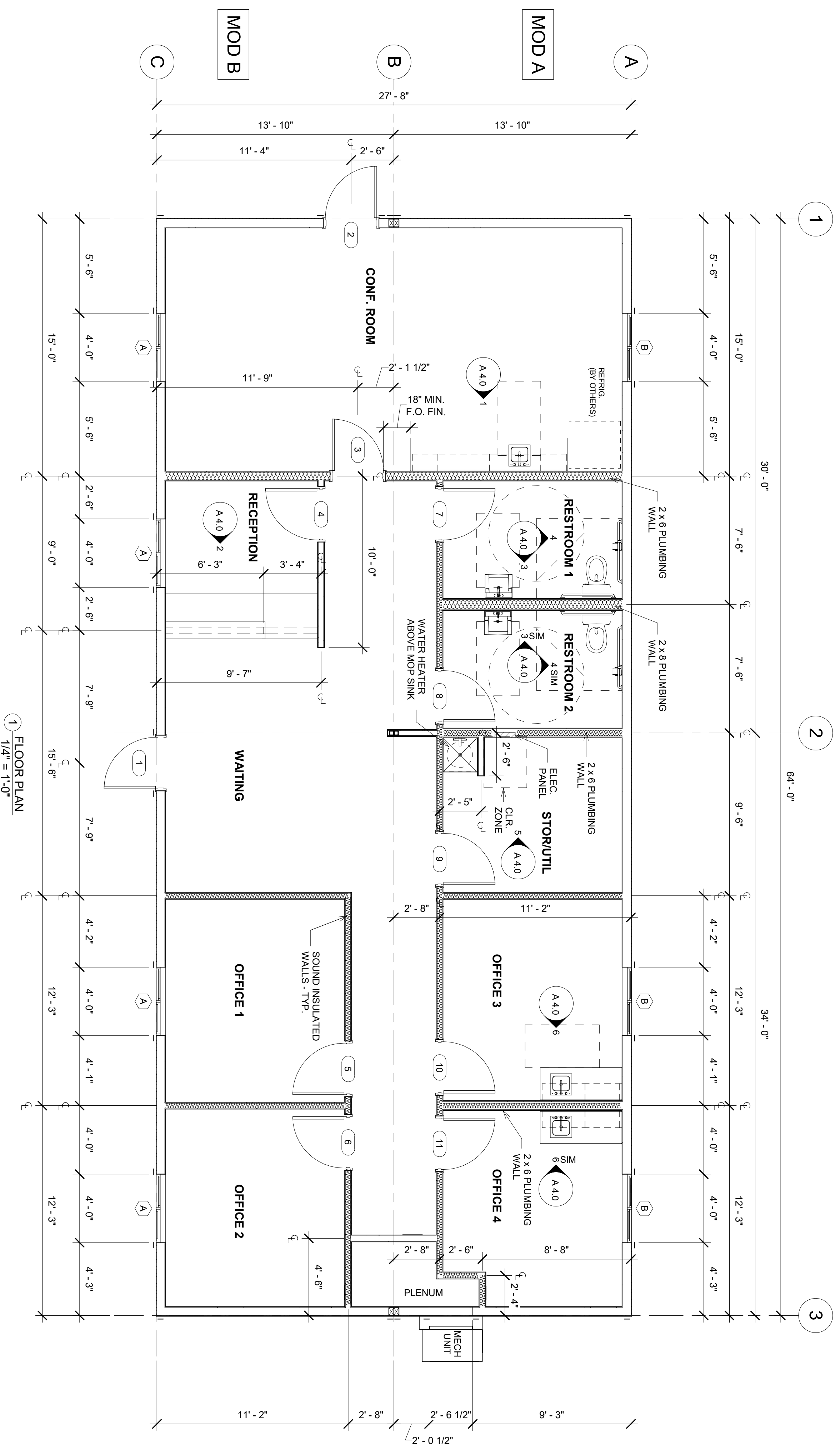
| REV. | DESCRIPTION | DATE | BY |
|------|-------------|------|----|
|      |             |      |    |
|      |             |      |    |
|      |             |      |    |

**MODERN BUILDING SYSTEMS, LLC**  
 BUILDING SYSTEMS  
 123 PARK ROAD, FALLS CITY, OR 97344  
 503-749-4949  
 michael.lewis@modern.com

**DESIGN PROFESSIONAL**  
 MICHAEL C. LEWIS P.E.  
 MODERN BUILDING SYSTEMS, LLC  
 9493 PORTER RD. SE ALMUSVILLE, OR 97325  
 503-749-4949  
 michael.lewis@modern.com

**PRELIMINARY NOT FOR SUBMITTAL**

**COVER SHEET**  
 28' x 64' MODULAR OFFICE  
 WHC - FALLS CITY  
 SHEET # A.0.0  
 JOB# 2024-LB-12  
 DATE 2/26/24 PRELIM



| DESIGN CRITERIA                                    |  |
|--|--|
| <b>GENERAL:</b>                                    |  |
| CONSTRUCTION TYPE                                  | VB (NON-SPRINKLERED)   |
| OCCUPANCY GROUP (OSSC CH. 3)                       | B  |
| OCCUPANCY LOAD (OSSC TABLE 1004.5)                 | 37 OCCUPANTS. SEE SUMMARY ON SHEET A.3.0   |
| DISTANCE TO PROPERTY LINE OR ASSUMED PROPERTY LINE | FRONT: 10' MIN.<br>REAR: 10' MIN.<br>LEFT: 10' MIN.<br>RIGHT: 10' MIN.   |
| EXTERIOR WALL RATING (OSSC TABLE 602)              | FIRE SEPARATION DISTANCE 10' OR GREATER. NO RATING REQUIRED  |
| <b>ELECTRICAL:</b>                                 |  |
| ELECTRICAL SERVICE LOAD                            | 225A / 120/240V / 1 PH.<br>50.4 KVA  |
| <b>MECHANICAL:</b>                                 |  |
| VENTILATION OCC. LOAD (OMSC TABLE 403.3.1.1)       | 28 OCCUPANTS. SEE SUMMARY ON SHEET M.1.0   |
| CLIMATE ZONE                                       | 4C   |
| HEATING  | SPV/HP   |
| AIR-CONDITIONING                                   | YES  |
| <b>PLUMBING:</b>                                   |  |
| PLUMBING OCC. LOAD (OSSC TABLE 1004.5, 2902.1)     | 38 (19 MALE/19 FEMALE)   |
| QUANTITY OF PLUMBING FIXTURES                      | 10   |
| <b>STRUCTURAL:</b>                                 |  |
| REQUIRED SPECIAL INSPECTIONS                       | STEEL COLUMN WELDING, SUSPENDED CEILING W/ BEHC CLIPS  |
| ROOF SNOW LOAD                                     | 25 PSF (+5 PSF SOLAR)  |
| FLOOR LIVE LOAD                                    | 50 PSF (+15 PSF PARTITION), 100 PSF  |
| WIND LOAD  | Lambda = 1.00 Vult = 120 MPH (Vasd = 93 MPH) 3 SECOND GUST - EXP. B  |
| SEISMIC  | S <sub>MS</sub> = 1.000, (PER ASCE 7-16 SEC. 12.8.1.3) RISK CATEGORY II<br>I <sub>s</sub> = 1.0, SEISMIC DESIGN CATEGORY D, SITE CLASS D |

THIS SET OF PLANS PREPARED AND SUBMITTED FOR APPROVAL UNDER THE FOLLOWING CODES:

- BUILDING: 2022 OSSC
- MECHANICAL: 2022 OMSC
- FIRE: 2022 OFC
- PLUMBING: 2023 OPSC
- ELECTRICAL: 2023 OESC
- ENERGY: 2023 OESB
- ASHRAE 90.1-2019
- ACCESSIBILITY: ICC A117.1-2017

# Exhibit C

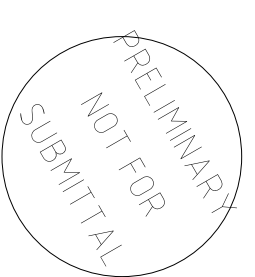
| REV. DESCRIPTION | DATE | BY |
|------------------|------|----|
|                  |      |    |
|                  |      |    |
|                  |      |    |
|                  |      |    |
|                  |      |    |

REUSE OF DOCUMENTS THIS OCCURS AND THE DESIGNER AGREES TO THE PROPERTY OF MODERN BUILDING SYSTEMS, LLC. NOT TO BE USED IN ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION.



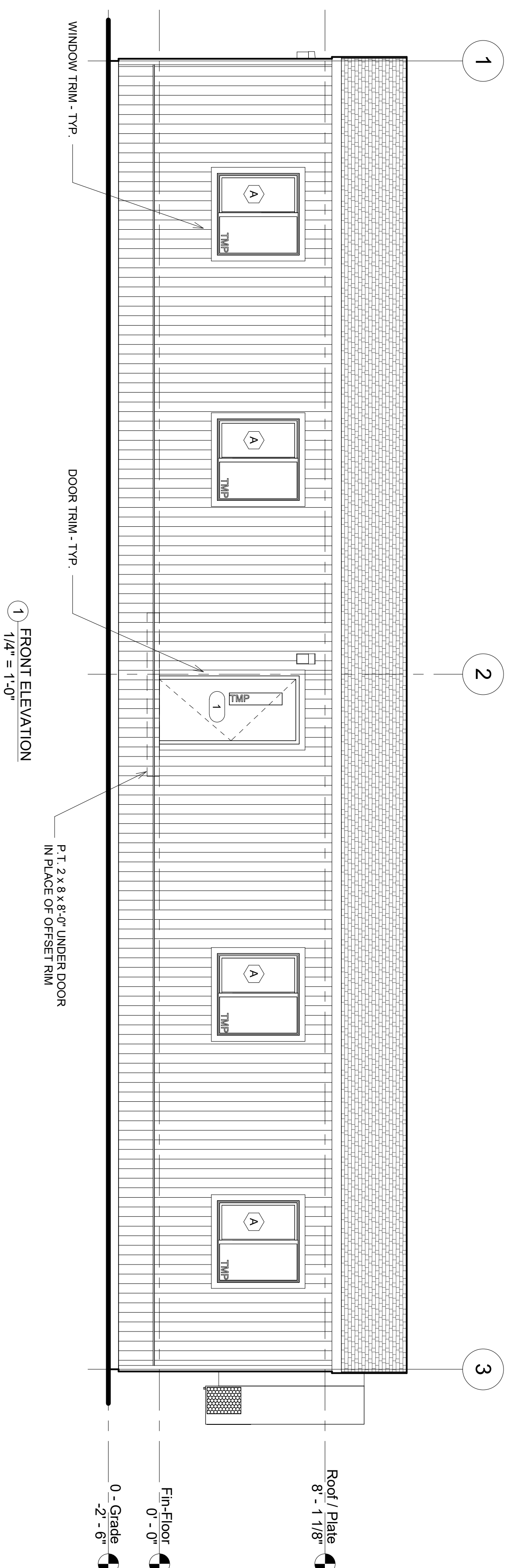
SHEET FLOOR & CEILING PLANS  
 28' x 64' MODULAR OFFICE  
 WHC - FALLS CITY  
 ADDRESS 123 PARRY ROAD FALLS CITY, OR 97344

JOB# 2024-LB-12  
 SHEET# A.1.0  
 DWG/TJS DATE 2/26/24 PRELIM

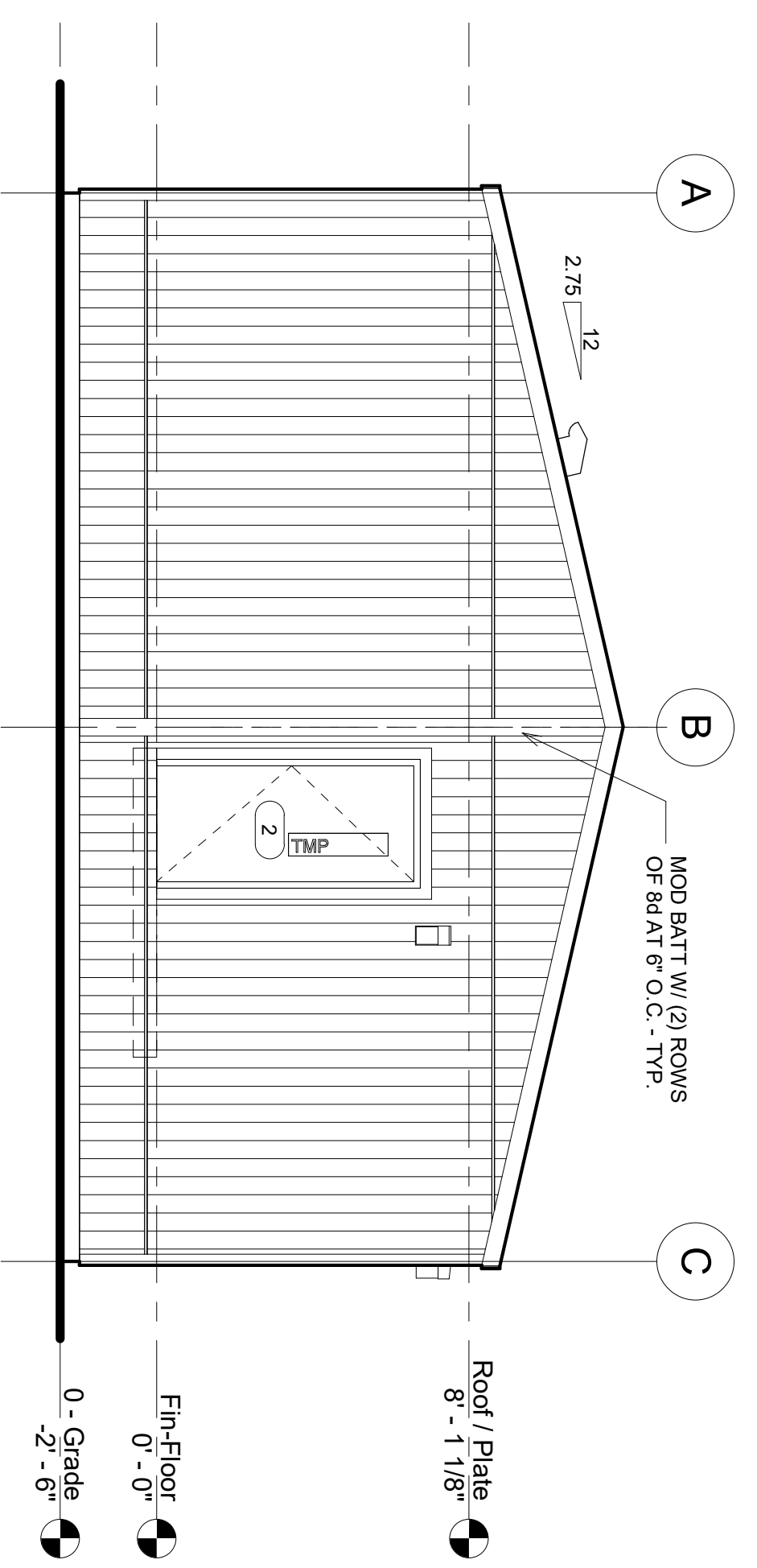




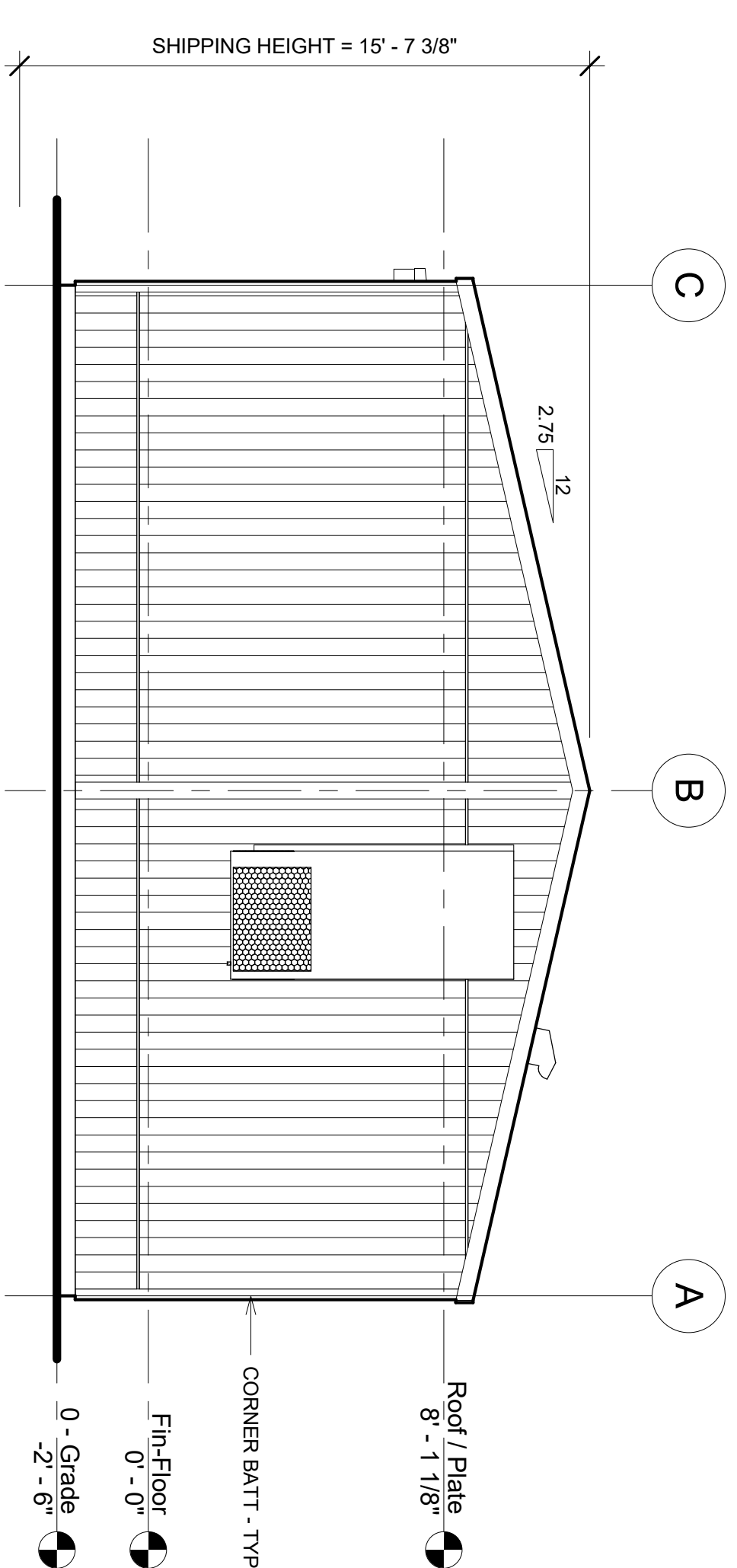
# Exhibit C



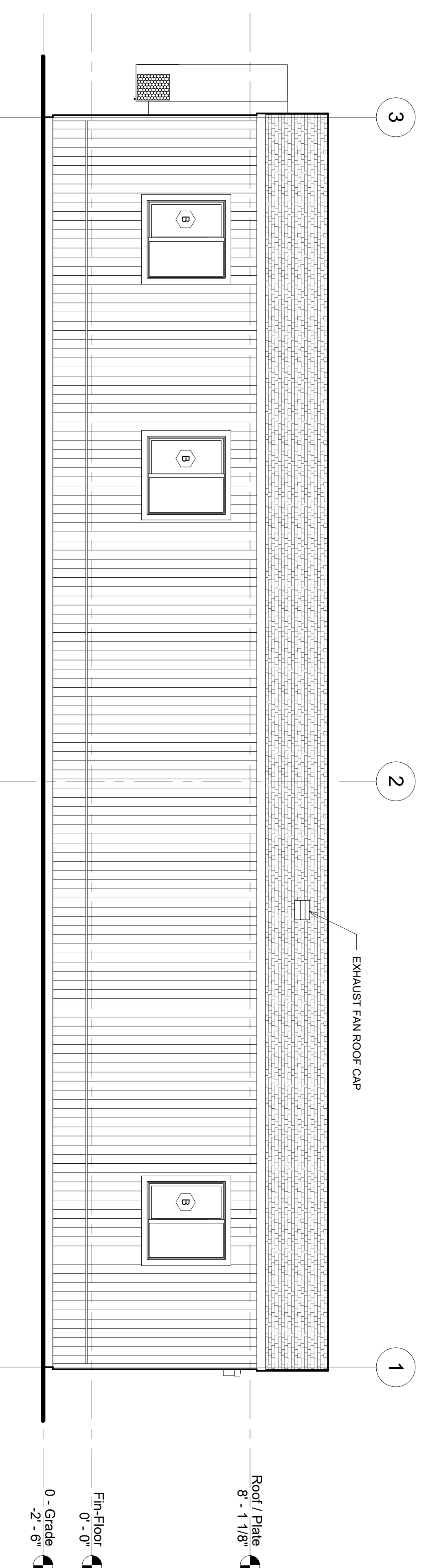
1 FRONT ELEVATION  
1/4" = 1'-0"



2 LEFT ELEVATION  
1/4" = 1'-0"



3 RIGHT ELEVATION  
1/4" = 1'-0"



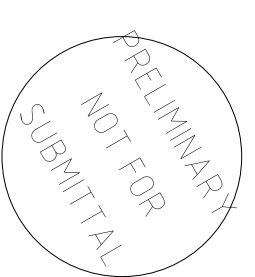
4 REAR ELEVATION  
1/4" = 1'-0"

| REV. / DESCRIPTION | DATE | BY |
|--------------------|------|----|
|                    |      |    |
|                    |      |    |
|                    |      |    |
|                    |      |    |
|                    |      |    |

REUSE OF DOCUMENTS THIS OCCURS AND THE DESIGN ARE THE PROPERTY OF MODERN BUILDING SYSTEMS, LLC. NOT TO BE USED IN ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION.



SHEET # 2024-LB-12  
 PROJECT: 28' x 64' MODULAR OFFICE  
 WHC - FALLS CITY  
 ADDRESS: 123 PARRY ROAD, FALLS CITY, OR 97344  
 DATE: 2/26/24 PRELIM



**FLOOR CONSTRUCTION**

FINISH L.V.T. THRU-OUT  
**BASE:** 4" VINYL THRU-OUT  
**UNDERLAYMENT:** 1/4" CCP THRU-OUT  
**SUBFLOOR:** 23/32" APA RATED SHEATHING (24)  
 (ACTS AS 1 PERM MAX. VAPOR BARRIER)  
 (ACTS AS AIR BARRIER)  
**JOISTS:** 2 x 8 DF #2 AT 16" O.C.  
**RIM JOISTS:** 1x10 R.H.P. 3100 Fb - 2.0E - 1-1/2" W x 2-1/4" D  
 (ESR-1387 AND ESR-2913)  
**OFFSET RIMS:** 2 x 4 DF (UN.O.)  
**INSULATION:** R-30 U (FIBERGLASS BATTS)

**CEILING NOTES**  
 CEILING HEIGHT: NOMINAL 8'-0" (UN.O.), 7'-11" AT RESTROOMS  
**CEILING:** SUSPENDED T-GRID W/ ACOUSTIC TILE (REF: ESR-1308)  
 INSTALL ARMSTRONG 7001 HEAVY DUTY MAIN W/ 7/8" ANGLE AND BERG CLIPS  
 SPECIAL INSPECTION REQUIRED IN SEISMIC DESIGN CATEGORIES C, D, AND F

**ROOF CONSTRUCTION**

**ROOFING:** FIBERGLASS COMP. SHINGLES OVER (2) LAYERS SYNTHETIC FELT (MIN. CLASS B), (6) STAPLES  
 ICE AND WATER SHIELD OR MOP MIN. 2'-0" INSIDE WALL LINE AT EAVES AND GABLE  
**SHEATHING:** 7/16" O.S.B. (24/16)  
 (ACTS AS AIR BARRIER)  
**FRAMING:** 2 x 10 DF #2 AT 24" O.C.  
**BEAMS:** 1x10 R.H.P. 3100 Fb 2.0E - 1-1/2" W x 24" D (ESR-1387 AND ESR-2913)  
**INSULATION:** R-45 (CELLULOSE) W/ FS-25  
**EAVE VENTS:** ARE AIR BATTLED PER ASHRAE 55.1.4

**EXTERIOR WALL CONSTRUCTION**

**ROOF PITCH:** 2.75 IN 12  
**EXTERIOR NOTES**  
**CORNER BATTS:** 1 x 4 OVER FULL HEIGHT 2" x 2" GALV. FLASHING W/ CAULK  
**FASCIA:** 1 x 6  
**BARGE:** 1 x 6

**INTERIOR WALL CONSTRUCTION**

**STUDS:** 2 x 4 HF STUD GRADE AT 16" O.C. (UN.O.)  
**INTERIOR FINISH:** 5/8" V.C. GYPSUM BOARD AT RESTROOMS AND MOP SINK  
**INSULATION:** R-11 MINERAL WOOL (SOUND BATTS) AT INTERIOR WALLS AS SHOWN ON FLOORPLAN

**DOOR ROUGH OPENING SCHEDULE**

| EXTERIOR DOORS |  |
|----------------|--|
| <b>A</b>       | METAL DOORS W/ HOLLOW METAL FRAME (WELDED)<br>R.O. WIDTH CALL SIZE + 4-1/2"<br>R.O. HEIGHT CALL SIZE + 2-1/8"          |
| <b>B</b>       | DBL. METAL DOORS W/ HOLLOW METAL FRAME (WELDED)<br>R.O. WIDTH CALL SIZE + 4-1/2"<br>R.O. HEIGHT CALL SIZE + 2-1/8"     |
| <b>C</b>       | STOREFRONT DOOR<br>R.O. WIDTH CALL SIZE + 4-1/2"<br>R.O. HEIGHT CALL SIZE + 2-1/8"                                     |
| <b>D</b>       | TIMELY SPLIT MEDIA DOOR<br>R.O. WIDTH CALL SIZE + 1-1/4"<br>R.O. HEIGHT CALL SIZE + 1"                                 |
| <b>E1</b>      | METAL DOOR W/ WOOD FRAME (PEASE AND STALEY) (INSWING)<br>R.O. WIDTH CALL SIZE + 2"<br>R.O. HEIGHT CALL SIZE + 2"       |
| <b>E2</b>      | METAL DOOR W/ WOOD FRAME (PEASE AND STALEY) (OUTSWING)<br>R.O. WIDTH CALL SIZE + 2"<br>R.O. HEIGHT CALL SIZE + 1-9/16" |
| <b>F</b>       | METAL DOOR W/ METAL FRAME (FAST-FRAME)<br>R.O. WIDTH CALL SIZE + 1-1/4"<br>R.O. HEIGHT CALL SIZE + 1"                  |
| <b>G</b>       | METAL DOOR W/ HOLLOW METAL FRAME (KNOCK-DOWN)<br>R.O. WIDTH CALL SIZE + 2"<br>R.O. HEIGHT CALL SIZE + 1"               |
| INTERIOR DOORS |  |
| <b>1</b>       | HOLLOW / SOLID WOOD DOOR W/ WOOD FRAME<br>R.O. WIDTH CALL SIZE + 2"<br>R.O. HEIGHT CALL SIZE + 2-1/8"                  |
| <b>2</b>       | TIMELY FRAME<br>R.O. WIDTH CALL SIZE + 1-1/4"<br>R.O. HEIGHT CALL SIZE + 1-1/2"  |
| <b>3</b>       | POCKET DOOR<br>R.O. WIDTH 2x CALL SIZE + 2"<br>R.O. HEIGHT CALL SIZE + 4"  |
| <b>4</b>       | B-PASS DOOR<br>R.O. WIDTH CALL SIZE<br>R.O. HEIGHT CALL SIZE + 2-1/8"  |
| <b>5</b>       | B-FOLD DOOR<br>R.O. WIDTH CALL SIZE<br>R.O. HEIGHT CALL SIZE + 5/8"  |

NOTE: ALL TRIMMER HEIGHTS = R.O. CALL SIZE MINUS 1-1/2"

**AREA SCHEDULE (Gross Building)**

| Area Type           | No. Mods | Area    |
|---------------------|----------|---------|
| Gross Building Area | 2        | 1771 SF |

**ROOF SCHEDULE**

| Description | Area    |
|-------------|---------|
| ROOFING     | 1840 SF |

**WALL SCHEDULE**

| Description           | Length    |
|-----------------------|-----------|
| EXTERIOR 2x6          | 181' - 6" |
| EXTERIOR 2x SKIRTWALL | 183' - 0" |
| INTERIOR 2x4          | 138' - 7" |
| INTERIOR 2x6          | 49' - 1"  |
| INTERIOR 2x8          | 10' - 11" |

**FASTENING SCHEDULE**

| MINIMUM NUMBER OF NAILS FOR WOOD MEMBERS (EXCEPT AS NOTED ON DRAWINGS)   | NO. / SPACING  |
|--|--|
| <b>FLOOR</b><br>RIM JOIST TO FLOOR JOIST<br>JOIST TO JOIST   | 3 PER JOIST<br>2 ROWS AT 12" O.C.<br>2 EACH END  |
| <b>STUDS TO PLATES - END NAIL BLOCKING</b><br>STUDS TO PLATES - END NAIL BLOCKING<br>JAMB STUD TO 4x HEADER<br>JAMB STUD TO 2x HEADER (CRIPPLE, ETC.)<br>STUD TO STUD PLATE TO LOWER TOP PLATE TO FLOOR<br>BOTTOM PLATE TO FLOOR | 2 EACH END AT 2 x 4<br>2 EACH END AT 2 x 6<br>MIN. 4 EACH END<br>MIN. 2 EACH END<br>2 EACH SIDE OF STUD<br>2 EACH SIDE OF STUD |
| <b>WALL</b><br>RIM JOIST TO RAFTER<br>MIN. 2 PER TRUSS<br>2 ROWS AT 12" O.C.<br>2 EACH END<br>2 ROWS AT 6" O.C.<br>4 AT RAFTER   | 3 PER RAFTER<br>MIN. 2 PER TRUSS<br>2 ROWS AT 12" O.C.<br>2 EACH END<br>2 ROWS AT 6" O.C.<br>4 AT RAFTER                       |
| <b>ROOF</b><br>2 x 4 LEDGER<br>2 x 4 BRACE TO RAFTER   | 2 EACH END AT 12" O.C.<br>2 EACH END AT 12" O.C.<br>4 AT RAFTER  |

NOTES:  
 1. FASTENERS ARE 12d (131). USE HDG FASTENERS OR 16d GALV. FASTENERS.  
 2. SUBSTITUTION OF CONNECTORS SPECIFIED IN THIS DRAWING SET IS ALLOWED FOR EQUAL OR BETTER CONNECTOR PRODUCTS.  
**STANDARD SHEATHING FASTENING - UN.O.**  
 FROM ESR-1539 JULY 2022

| FLOOR SHEATHING (UNBLOCKED)                         | SPACING   | TYPE                          | MIN. LENGTH |
|---|-----------|-------------------------------|-------------|
| 23/32" CDX OR O.S.B. OR STURDI - FLOOR TAGS         | 8" FIELD  | 8d (113) RING-SHANK           | 2-3/8"      |
| <b>FLOOR UNDERLAYMENT</b> (GLUE AND STAGGER JOINTS) | 8" FIELD  | 18 GA. STAPLE MIN. 1/4" CROWN | 1"          |
| <b>1/4" CCP</b>                                     | 8" FIELD  | 8" FIELD                      | 1"          |
| <b>SIDING</b> (ALL EDGES SUPPORTED)                 | 8" FIELD  | 8d (113) GALV. NAIL           | 2-3/8"      |
| 15/32" T-1-11                                       | 12" FIELD | 8" FIELD                      | 2-3/8"      |
| <b>ROOF SHEATHING</b> (UNBLOCKED)                   | 8" FIELD  | 8" FIELD                      | 2"          |
| 7/16" O.S.B.  | 8" FIELD  | 8" FIELD                      | 2"          |

**OCCUPANT LOAD SCHEDULE**

| Function Of Space                   | Area    | Load Factor | Occupant Load |
|-------------------------------------|---------|-------------|---------------|
| ASSEMBLY (UNCONCENTRATED) - CONF.   | 352 SF  | 15          | 24            |
| ASSEMBLY (UNCONCENTRATED) - WAITING | 50 SF   | 15          | 4             |
| BUSINESS                            | 1242 SF | 150         | 9             |
| <b>Total</b>                        |         |             | <b>37</b>     |

**DOOR SCHEDULE**

| Mark | Width | Height | Thickness | Door Swing | Code | Lite Glass | Lite Size | Face | Door Finish | Frame Type | Frame Finish | Threshold | R.O. Type | How Group | Door Header     | U/V/Glue | Remarks |
|------|-------|--------|-----------|------------|------|------------|-----------|------|-------------|------------|--------------|-----------|-----------|-----------|-----------------|----------|---------|
| 1    | 3'-0" | 6'-8"  | 1 3/4"    | LHOS       | NH   | CLR/TMP    | NHW       | NHL  | PT          | HMR/D      | PT           | 6-3/4"    | A         | 1         | (2) 2 x 8 DF #2 | 0.50     |         |
| 2    | 3'-0" | 6'-8"  | 1 3/4"    | RHOS       | NH   | CLR/TMP    | NHW       | NHL  | PT          | HMR/D      | PT           | 6-3/4"    | A         | 1         | (2) 2 x 8 DF #2 | 0.50     |         |
| 3    | 3'-0" | 6'-8"  | 1 3/4"    | LH         | SC   | -          | -         | WD   | PF          | TM         | PF           | 6-3/4"    | 2         | 2         |                 |          |         |
| 4    | 3'-0" | 6'-8"  | 1 3/4"    | LH         | SC   | -          | -         | WD   | PF          | TM         | PF           | 6-3/4"    | 2         | 2         |                 |          |         |
| 5    | 3'-0" | 6'-8"  | 1 3/4"    | LH         | SC   | -          | -         | WD   | PF          | TM         | PF           | 6-3/4"    | 2         | 3         |                 |          |         |
| 6    | 3'-0" | 6'-8"  | 1 3/4"    | LH         | SC   | -          | -         | WD   | PF          | TM         | PF           | 6-3/4"    | 2         | 3         |                 |          |         |
| 7    | 3'-0" | 6'-8"  | 1 3/4"    | LH         | SC   | -          | -         | WD   | PF          | TM         | PF           | 6-3/4"    | 2         | 4         |                 |          |         |
| 8    | 3'-0" | 6'-8"  | 1 3/4"    | LH         | SC   | -          | -         | WD   | PF          | TM         | PF           | 6-3/4"    | 2         | 4         |                 |          |         |
| 9    | 3'-0" | 6'-8"  | 1 3/4"    | RH         | SC   | -          | -         | WD   | PF          | TM         | PF           | 6-3/4"    | 2         | 5         |                 |          |         |
| 10   | 3'-0" | 6'-8"  | 1 3/4"    | RH         | SC   | -          | -         | WD   | PF          | TM         | PF           | 6-3/4"    | 2         | 5         |                 |          |         |
| 11   | 3'-0" | 6'-8"  | 1 3/4"    | LH         | SC   | -          | -         | WD   | PF          | TM         | PF           | 6-3/4"    | 2         | 3         |                 |          |         |

NOTES:  
 1. CAULK AND SEAL ALL EXTERIOR DOORS  
 2. ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (UN.O.)  
 3. ALL DOOR LEADS 4-1/2" (UN.O.)  
 4. ALL DOORS TO HAVE A OPENING FORCE NOT TO EXCEED 5 POUNDS  
 5. DOOR SURFACES WITHIN 10" OF THE FLOOR MEASURED VERTICALLY SHALL BE SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR PER ICC A117.1 SECTION 404.2.9

**WINDOW SCHEDULE**

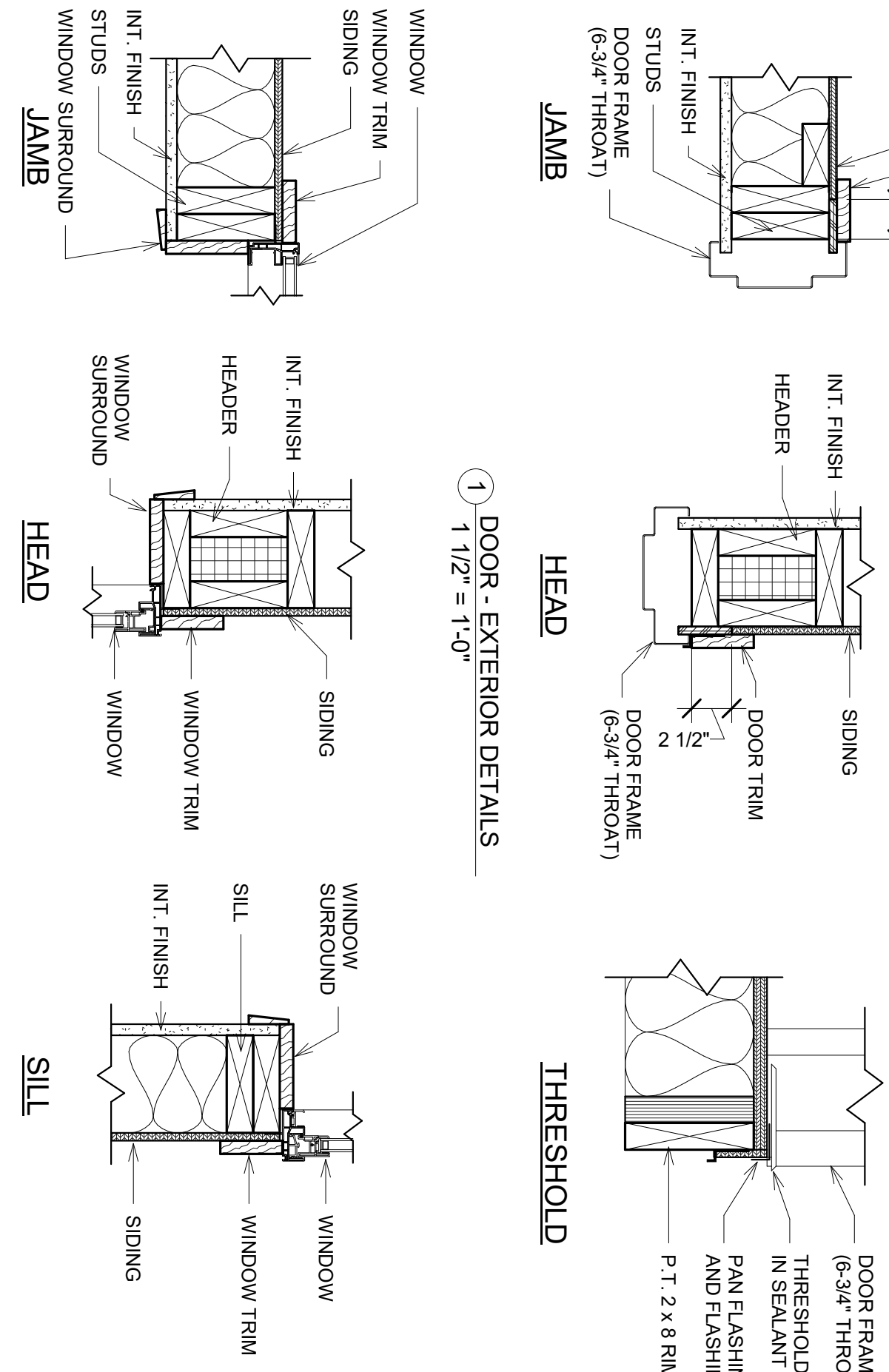
| Mark | Count | Width | Height | Type | Frame | Glass                    | SHGC | U-VAL | VT   | Air Leakage | Ext. Trim | Int. Trim | Window Header   | T.O. R.O.  | Comments |
|------|-------|-------|--------|------|-------|--------------------------|------|-------|------|-------------|-----------|-----------|-----------------|------------|----------|
| A    | 4     | 4'-0" | 4'-0"  | XO   | VINYL | DUAL LOW E / ARGON / TMP | 0.22 | 0.25  | 0.52 | .18 CFM/SF  | 1x4       | WD        | (2) 2 x 8 DF #2 | 6'-10 1/8" |          |
| B    | 3     | 4'-0" | 4'-0"  | XO   | VINYL | DUAL LOW E / ARGON       | 0.22 | 0.25  | 0.52 | .18 CFM/SF  | 1x4       | WD        | (2) 2 x 8 DF #2 | 6'-10 1/8" |          |

NOTES:  
 1. CAULK AND SEAL ALL EXTERIOR WINDOWS

**HARDWARE SCHEDULE**

| GROUP #1  | GROUP #2  | GROUP #3   | GROUP #4  | GROUP #5   |
|---|---|--|---|--|
| DOORS: 1, 2<br>HINGES: (3) BUTT HAGER BB1279 NRP.<br>4-5" x 4-5" US320<br>LEVERSET: (ENTRANCE)<br>SCHLAGE ND92PD RHO. 626<br>LOCK GUARD: VES 1082.6: 630<br>STRIKE: ANSI<br>WEATHER-STRIP: PENKO 345AV 35"<br>DOOR SWEEP: PENKO 346C-40<br>RAINDRIP: PENKO 346C-40<br>ADA THRESHOLD: PENKO 176A | DOORS: 3, 4<br>HINGES: (3) BUTT HAGER RCB1541.<br>4" x 4" US32D<br>LEVERSET: (PASSAGE)<br>SCHLAGE ND10S RHO. 626<br>STRIKE: ANSI<br>WALL STOP: VES WS406CCV/<br>WEATHER-STRIP: PENKO 345AV 35"<br>HINGE STOP: VES 69. 652 (AT DOOR 3) | DOORS: 5, 6, 10, 11<br>HINGES: (3) BUTT HAGER RCB1541.<br>4" x 4" US32D<br>LEVERSET: (ENTRANCE)<br>SCHLAGE ND92PD RHO. 626<br>STRIKE: ANSI<br>WALL STOP: VES WS406CCV/<br>WEATHER-STRIP: PENKO 345AV 35" | DOORS: 4, 5<br>HINGES: (3) BUTT HAGER RCB1541.<br>4" x 4" US32D<br>LEVERSET: (PRIVACY)<br>SCHLAGE ND10S RHO. 626<br>INDICATOR: PRIVACY SIGN<br>STRIKE: ANSI<br>WALL STOP: VES WS406CCV/<br>WEATHER-STRIP: PENKO 345AV 35" | DOORS: 9<br>HINGES: (3) BUTT HAGER RCB1541.<br>4" x 4" US32D<br>LEVERSET: (STOREROOM)<br>SCHLAGE ND92PD RHO. 626<br>STRIKE: ANSI<br>WALL STOP: VES WS406CCV/<br>WEATHER-STRIP: PENKO 345AV 35" |

NOTE: 1/2" P.T. IN WOOD STRIP TUBED BEHIND DOOR FRAME



1 WINDOW - EXTERIOR DETAILS  
 1-1/2" = 1'-0"

2 WINDOW - EXTERIOR DETAILS  
 1-1/2" = 1'-0"

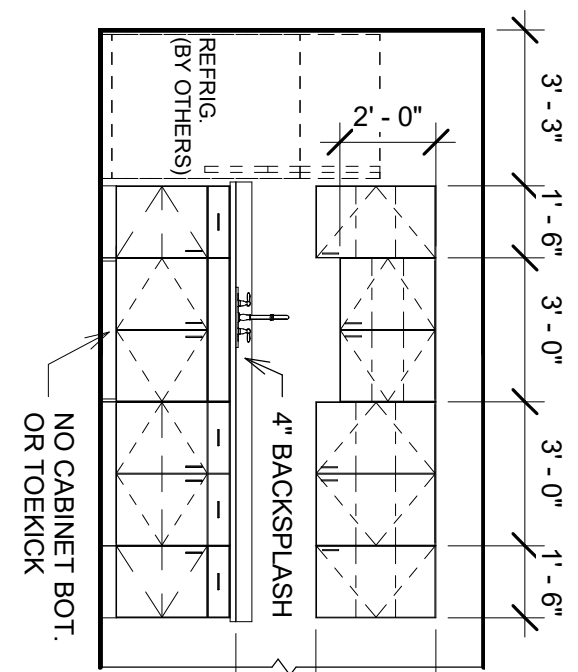
Exhibit C

PRELIMINARY  
 NOT FOR  
 SUBMITTAL

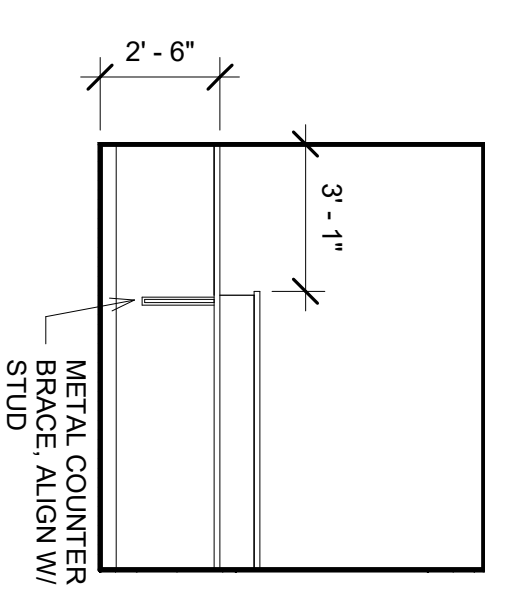
| REV. | DESCRIPTION | DATE | BY |
|------|-------------|------|----|
|      |             |      |    |
|      |             |      |    |
|      |             |      |    |

**MODERN BUILDING SYSTEMS, LLC**  
 28' x 64' MODULAR OFFICE  
 WHC - FALLS CITY  
 ADDRESS: 123 PARRY ROAD, FALLS CITY, OR 97344

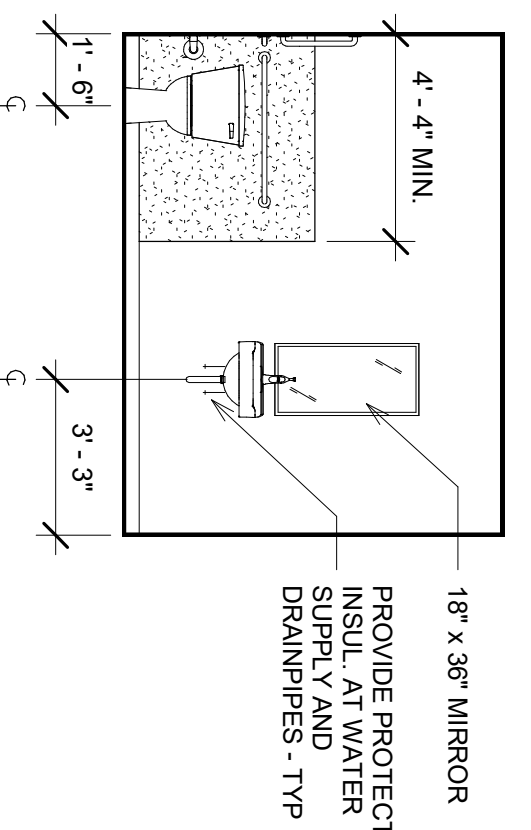
SHEET FINISH NOTES & DETAILS  
 SHEET # A 3.0  
 JOB# 2024-LB-12  
 DATE 2/26/24 PRELIM



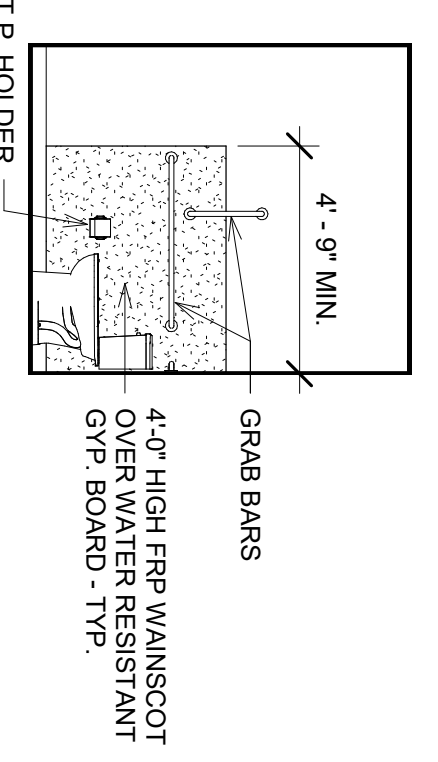
1 CONF. ROOM  
1/4" = 1'-0"



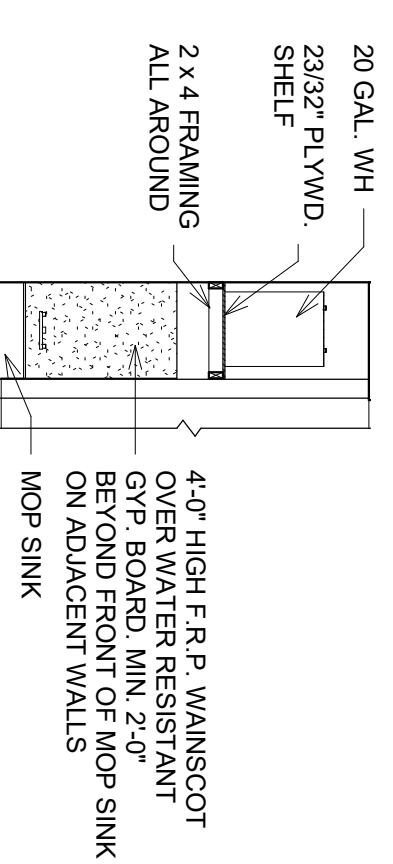
2 RECEPTION  
1/4" = 1'-0"



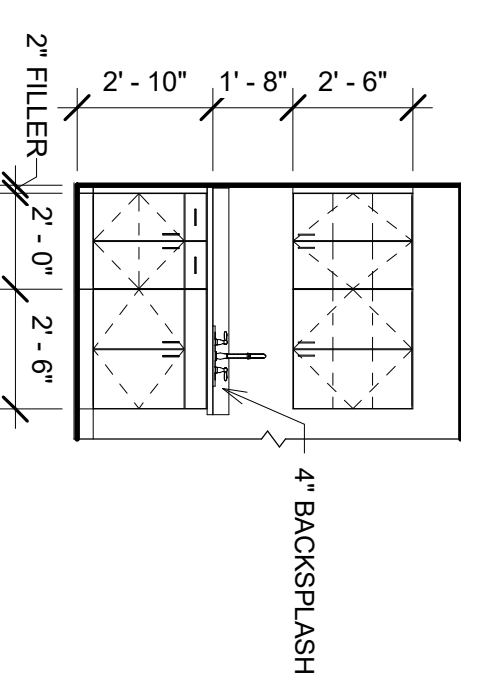
3 RESTROOM - TYP. BACK WALL  
1/4" = 1'-0"



4 RESTROOM - TYP. SIDE WALL  
1/4" = 1'-0"



5 STOR. UTIL.  
1/4" = 1'-0"

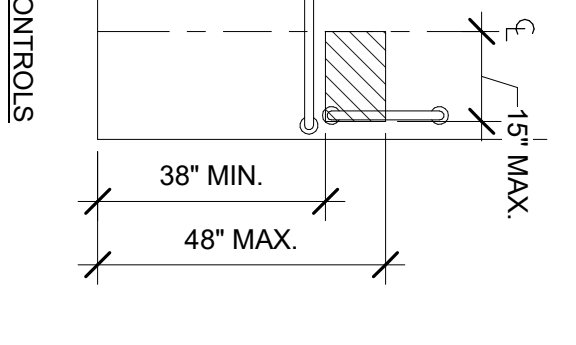
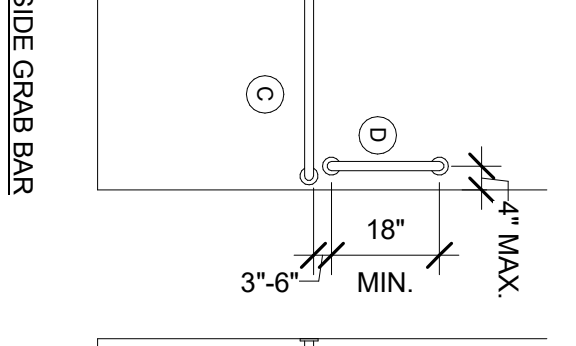
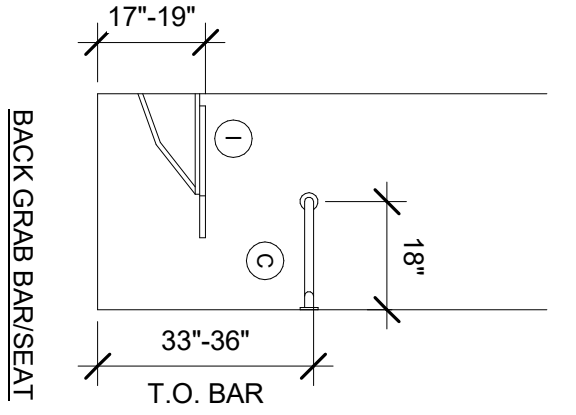
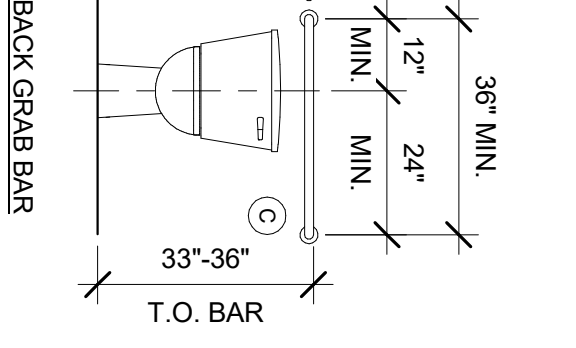
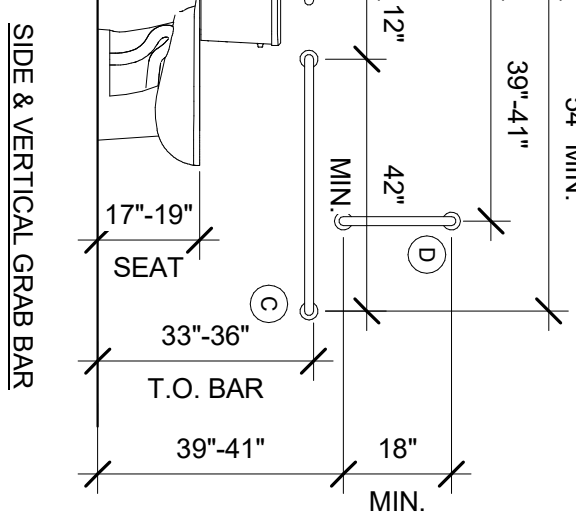
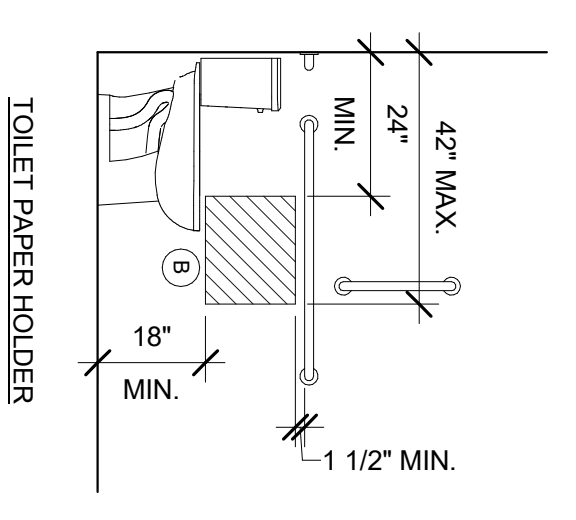


6 CLINIC - TYP.  
1/4" = 1'-0"

PROVIDE WOOD WALL BLOCKING AS NEEDED FOR ALL ACCESSORIES, PARTITIONS, PLUMBING FIXTURES, EQUIPMENT AND DOOR WALL STOPS

- INTERIOR ELEVATION NOTES**
- DIMENSIONS TO FLOOR, WALLS AND CEILING ARE TO FACE OF FINISH (U.N.O.)
  - PROVIDE WOOD BLOCKING FOR ALL ACCESSORIES MOUNTED IN GYP/SUM BOARD PARTITIONS. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE IN RATED WALLS.
  - SEE DETAILS ON SHEET A4.0 FOR ADA RESTROOM ACCESSORIES AND MOUNTING HEIGHTS.
  - MIN. 9" TOE CLEARANCE AT PARTITIONS. URINAL PARTITIONS MOUNTED WITH BOT. AT 12" FROM FINISHED FLOOR OR A NO MORE THAN 60" FROM FINISHED FLOOR AND NOT TO EXTEND FROM WALL MORE THAN 18"

# Exhibit C

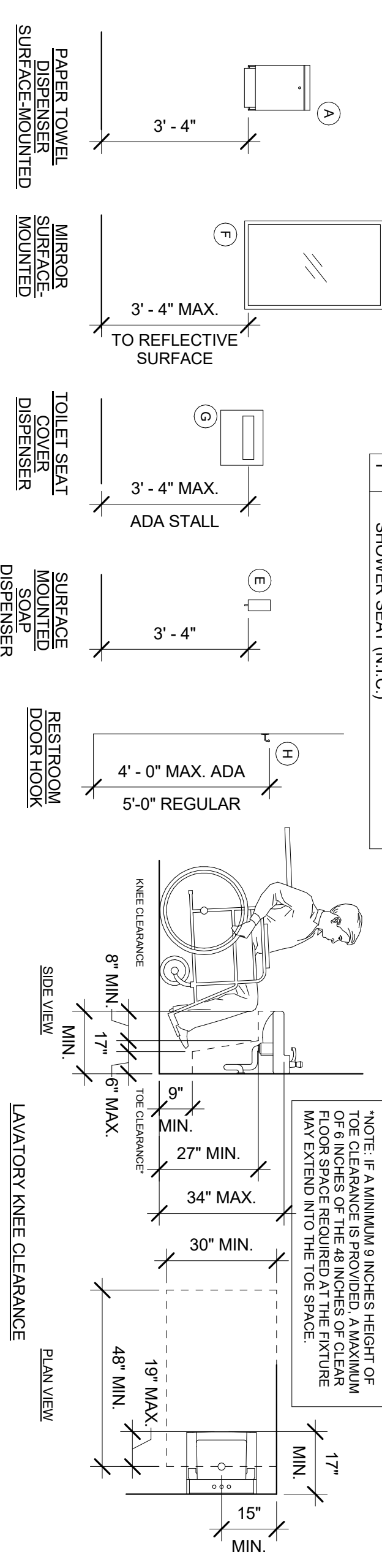


**SCHEDULE OF ACCESSORIES**

| ID | ITEMS                                |
|----|--------------------------------------|
| A  | PAPER TOWEL DISPENSER (N.I.C.)       |
| B  | TOILET PAPER HOLDER                  |
| C  | HORIZONTAL GRAB BAR                  |
| D  | VERTICAL GRAB BAR                    |
| E  | SOAP DISPENSER (N.I.C.)              |
| F  | TINNET SEAT COVER DISPENSER (N.I.C.) |
| G  | HOOK (N.I.C.)                        |
| H  | SHOWER SEAT (N.I.C.)                 |
| I  |                                      |

**NOTE:**  
1. DIMENSIONS TO FLOOR AND WALLS ARE TO FACE OF FINISH (U.N.O.)  
2. NOT ALL ACCESSORIES MAY BE PRESENT IN THIS PARTICULAR BUILDING.

**NOTE:** IF A MINIMUM KNEE HEIGHT OF 6 INCHES IS PROVIDED, A MINIMUM FLOOR SPACE REQUIRED IN THE ENTIRE LAVATORY SHALL BE 172 SQUARE FEET.



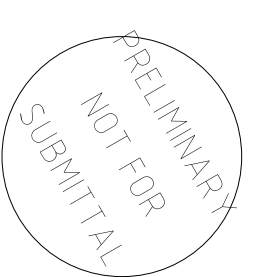
7 ADA - MOUNTING HEIGHTS  
3/8" = 1'-0"

| REV. / DESCRIPTION | DATE | BY | REVISIONS |
|--------------------|------|----|-----------|
|                    |      |    |           |
|                    |      |    |           |
|                    |      |    |           |
|                    |      |    |           |

**MODERN BUILDING SYSTEMS, LLC**  
 2332 E. 15th Avenue, Suite 100  
 Denver, CO 80202  
 303.733.8888  
 www.modernbuilding.com

SHEET # **INTERIOR ELEVATIONS**  
 PROJ. **28' x 64' MODULAR OFFICE**  
 ADDRESS **WHC - FALLS CITY**  
 123 PARRY ROAD, FALLS CITY, OR 97344

JOB# **2024-LB-12**  
 SHEET # **A.4.0**  
 DATE **2/26/24 PRELIM**



**MAIN DISTRIBUTION PANEL PANEL A**

Mounting Recepted

**PROJECT NO: 2024-LB-12**

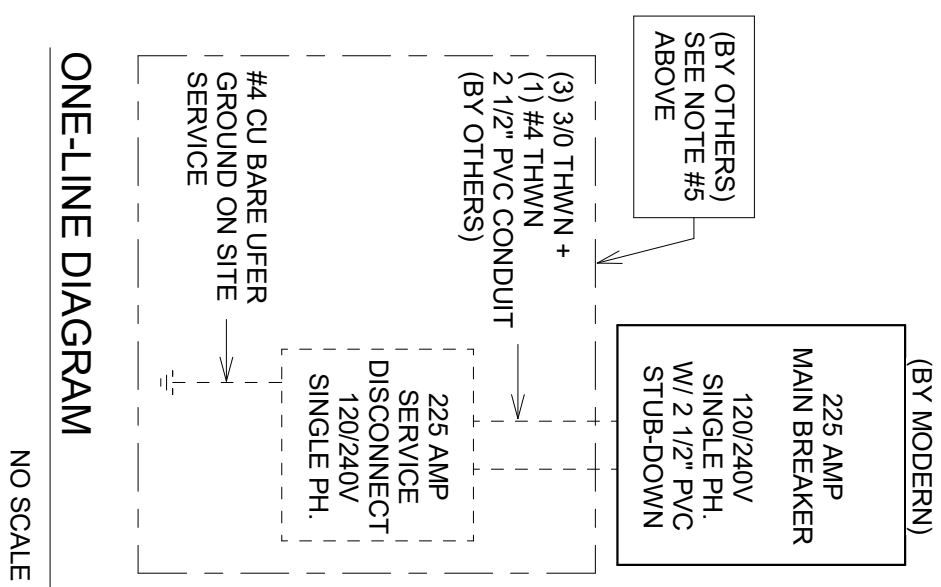
DATE: 2/26/24 PRELIM

| Load Name                                  | Rating   | Circuit Number | Number of Poles | A                 | B                 | Number of Poles | Circuit Rating           | Load Name                 |
|--|----------|----------------|-----------------|-------------------|-------------------|-----------------|--------------------------|---------------------------|
| Lighting / Fans                            | 20 A     | A1             | 1               | 933 VA   5400 VA  | 180 VA   5400 VA  | 2               | A2 50 A                  | Mech Unit                 |
| Exterior Receptacles                       | 20 A     | A3             | 1               | 1200 VA   6240 VA | 1260 VA   6240 VA | 2               | A6 60 A                  | Mech Unit                 |
| Sign Circuit                               | 20 A     | A7             | 1               | 1200 VA   6240 VA | 1260 VA   6240 VA | 2               | A8 60 A                  | Mech Unit                 |
| Receptacles                                | 20 A     | A9             | 1               | 720 VA   6240 VA  | 900 VA   6240 VA  | 2               | A10 60 A                 | Mech Unit                 |
| Receptacles                                | 20 A     | A11            | 1               | 720 VA   1260 VA  | 900 VA   6240 VA  | 2               | A12                      | Water Heater              |
| Receptacles                                | 20 A     | A13            | 1               | 720 VA   1260 VA  | 900 VA   1260 VA  | 2               | A14 25 A                 | Refrigerator (GFCI)       |
| Receptacles                                | 20 A     | A15            | 1               | 1080 VA   1000 VA | 900 VA   1260 VA  | 1               | A16 20 A                 | Refrigerator (GFCI)       |
| Receptacles                                | 20 A     | A19            | 1               | 1080 VA   1000 VA | 900 VA   1260 VA  | 1               | A18 20 A                 | Auxiliary                 |
|  |          | A21            |                 | 600 VA            |                   | 1               | A24 20 A                 |                           |
|  |          | A23            |                 |                   |                   |                 | A26 20 A                 |                           |
|  |          | A25            |                 |                   |                   |                 | A28 30 A                 |                           |
|  |          | A27            |                 | 0 VA              | 0 VA              | 2               | A30                      | For Future Solar Electric |
|  |          | A29            |                 | 0 VA              | 22370 VA          |                 |                          |                           |
| <b>TOTAL PANEL VA=</b>                     |          |                |                 | <b>25383 VA</b>   |                   |                 | <b>=TOTAL PANEL AMPS</b> |                           |
| <b>BUS SIZE</b>                            |          |                |                 | <b>225 A</b>      |                   |                 | <b>199 A</b>             |                           |
| <b>MAIN BREAKER</b>                        |          |                |                 | <b>225 A</b>      |                   |                 | <b>VOLTAGAGE</b>         |                           |
| <b>CONNECTED LOAD</b>                      |          |                |                 |                   |                   |                 | <b>120/240 Single</b>    |                           |
| <b>DEMAND FACTOR</b>                       |          |                |                 |                   |                   |                 | <b>1</b>                 |                           |
| <b>CALCULATED LOAD</b>                     |          |                |                 |                   |                   |                 |                          |                           |
| LIGHTS                                     | 2302 VA  |                |                 | 125.00%           | 2878 W            |                 |                          |                           |
| SIGN CIRCUIT                               | 1200 VA  |                |                 | 100.00%           | 1200 W            |                 |                          |                           |
| RECEPTACLE                                 | 5760 VA  |                |                 | 100.00%           | 5760 W            |                 |                          |                           |
| DED. RECEPTACLE                            |          |                |                 |                   | 0 W               |                 |                          |                           |
| <b>MOTORS &amp; COMPRESSORS</b>            |          |                |                 |                   |                   |                 |                          |                           |
| EXHAUST FAN                                | 96 VA    |                |                 | 100.00%           | 96 W              |                 |                          |                           |
| LARGEST MOTOR                              | 48 VA    |                |                 | 25.00%            | 12 VA             |                 |                          |                           |
| <b>HEATING &amp; A/C (Per Mfg's Specs)</b> |          |                |                 |                   |                   |                 |                          |                           |
| TOTAL HEAT & A/C LOAD                      | 35760 VA |                |                 | 100.00%           | 35760 W           |                 |                          |                           |
| <b>MISCELLANEOUS</b>                       |          |                |                 |                   |                   |                 |                          |                           |
| WATER HEATER                               | 2500 VA  |                |                 | 125.00%           | 3125 W            |                 |                          |                           |
| AUXILIARY                                  | 600 VA   |                |                 | 100.00%           | 600 W             |                 |                          |                           |
| REFRIGERATOR                               | 1000 VA  |                |                 | 100.00%           | 1000 W            |                 |                          |                           |
| <b>CONNECTED LOAD</b>                      |          |                |                 |                   |                   |                 | <b>CALCULATED LOAD</b>   |                           |
| TOTAL VA =                                 | 49266 VA |                |                 |                   | 50431 VA          |                 |                          |                           |
| TOTAL AMPS =                               | 205 A    |                |                 |                   | 210 A             |                 |                          |                           |

NOTE: CONNECTED LOAD FOR LIGHTS IS FROM NEC TABLE 220.12 (EXCEPTION #2)

**ONE-LINE DIAGRAM NOTES**

1. EMT CONDUIT SHALL NOT BE USED WITH UNUSED CONDUCTIONS INSIDE BUILDING LINES
2. FIELD VERIFY AIC RATING REQUIREMENTS
3. N/A
4. GROUNDING TO BE IN ACCORDANCE TO NEC 250
5. SITE INSTALLED PORTION OF ELECTRICAL DISTRIBUTION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THESE APPROVED PLANS



**ELECTRICAL NOTES**

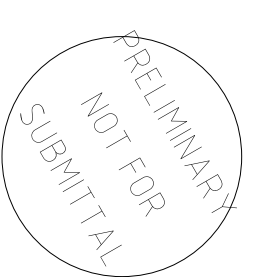
1. CONDUIT SHALL BE ELECTRICAL METALLIC TUBING AND METAL CLAD CABLE
2. EXTERIOR RECEPTACLES SHALL BE WEATHER RESISTANT TYPE W/ IN USE WEATHERPROOF COVER
3. BUILDING SERVICE SHALL BE SERVED BY ONLY ONE SERVICE OR FEEDER PER NEC 225.39 AND 230.2
4. SERVICE OR FEEDER DISCONNECT SHALL BE INSTALLED PER NEC 230.70 FOR BUILDINGS IN THE STATE OF WASHINGTON W/AC 296-468-230
5. PERMANENT MEANS OF LOCKING OUT DISCONNECT TO MECHANICAL UNIT(S) SHALL BE PROVIDED PER NEC 424.19
6. PERMANENT MEANS OF LOCKING OUT DISCONNECT TO WATER HEATER(S) SHALL BE PROVIDED PER NEC 422.3(16)
7. GASKET ALL EXTERIOR WALL BOX PLATE COVERS
8. PER NEC 110.28D ILLUMINATION FOR PANEL BOARDS SWITCHES SHALL BE PROVIDED BY THE MANUFACTURER OR BY AUTOMATIC MEANS ONLY. A MANUAL MEANS TO BYPASS THE AUTOMATIC CONTROL IS REQUIRED.
9. PER NEC 406.98(B)(1) 15 AND 20 AMP RECEPTACLES INSTALLED IN WET LOCATION SHALL HAVE AN ENCLOSURE THAT WEATHER-RESISTANT MEANS OF LOCKING OUT DISCONNECT SHALL BE PROVIDED PER NEC 406.98(B)(1) 15 AND 20 AMP RECEPTACLES SHALL BE LISTED AS WEATHER-RESISTANT TYPE
10. PER NEC 110.26 WORKING SPACE FOR EQUIPMENT OPERATING AT 600 VOLTS, NOMINAL, OR LESS TO GROUND AND LIKELY TO REQUIRE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE WHILE ENERGIZED SHALL COMPLY WITH THE DIMENSIONS OF 110.26(A)(1), (A)(2), AND (A)(3)
11. PER NFPA 72, NEC 780 AND WAC 296-468-780 DEVICE AND JUNCTION BOXES FOR FIRE ALARM SYSTEMS OTHER THAN SURFACE RACEWAY TYPE MUST BE SUBSTANTIALLY RED IN COLOR BOTH INSIDE AND OUTSIDE. POWER LIMITED FIRE PROTECTIVE SIGNALING CIRCUIT CONDUCTORS MUST BE IDENTIFIED BY RED INSULATION. OTHER CONDUCTORS OR OTHER ENCLOSURES TO INDICATE THAT IT IS POWER LIMITED FIRE PROTECTIVE SIGNALING CIRCUIT.
12. PER NEC 110.22 AND WAC 296-468-110-022 IDENTIFICATION PLATES ON DISCONNECTING MEANS ARE TO SHOW DISCONNECT AND IDENTIFY WHAT IT IS DISCONNECTING. MUST BE AN IDENTIFICATION PLATE
13. PER NEC 406.3E, ALL NON-LOCKING TYPE, 125 VA, 15 AMP, AND 20 AMP RECEPTACLES THAT ARE CONTROLLED BY AN AUTOMATIC MEANS SHALL BE IDENTIFIED BY THE MANUFACTURER OR BY ENERGY MANAGEMENT OR BUILDING AUTOMATION. SHALL BE MARKED WITH THE SYMBOL SHOWN IN FIGURE 406.3E AND LOCATED ON THE CONTROLLED RECEPTACLE OUTLET WHERE VISIBLE AFTER INSTALLATION
14. FIRE ALARM POWER SOURCE AND BRANCH CIRCUITS TO COMPLY WITH NEC 780.41(A)(B), THE FIRE ALARM CIRCUIT DISCONNECT SHALL BE PERMITTED TO BE SECURED IN THE "ON" POSITION. THE CIRCUIT DISCONNECTING MEANS SHALL HAVE RED IDENTIFICATION, SHALL BE ACCESSIBLE ONLY TO QUALIFIED PERSONNEL, AND SHALL BE IDENTIFIED AS "FIRE ALARM CIRCUIT".

| REV. DESCRIPTION | DATE | BY |
|------------------|------|----|
|                  |      |    |
|                  |      |    |
|                  |      |    |
|                  |      |    |

RESERVE OF DOCUMENTS THIS DOCUMENT AND THE DESIGN ARE THE PROPERTY OF MODERN BUILDING SYSTEMS, LLC. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF MODERN BUILDING SYSTEMS, LLC. 2024

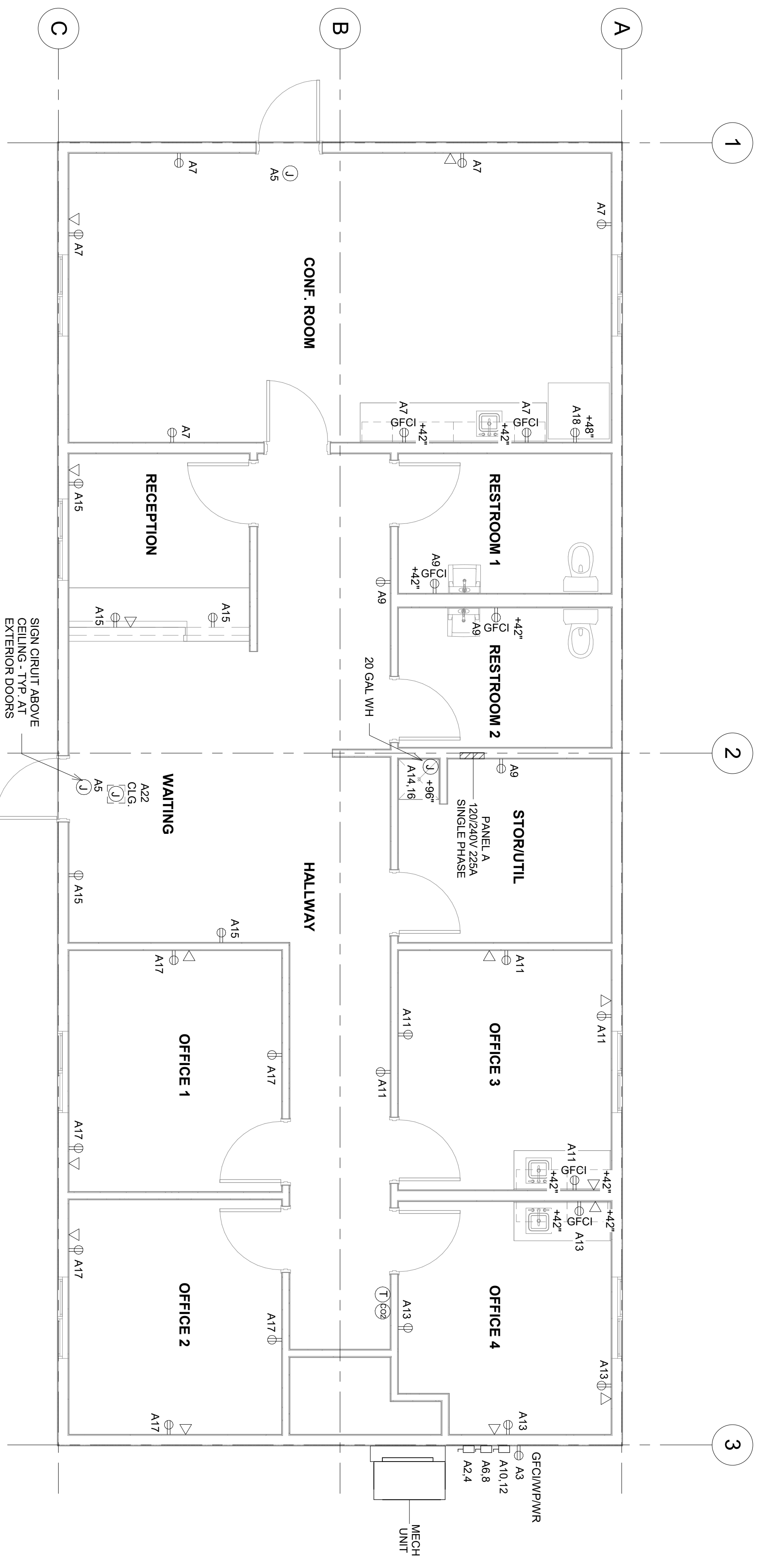
**MODERN BUILDING SYSTEMS, LLC**  
123 PARRY ROAD, FALLS CITY, OR 97344  
© MODERN BUILDING SYSTEMS, LLC 2024

SHEET **ELECTRICAL PANEL & NOTES** JOB# 2024-LB-12  
PROJ. 28' x 64' MODULAR OFFICE SHEET # **E.0.1**  
ADDRESS 123 PARRY ROAD, FALLS CITY, OR 97344

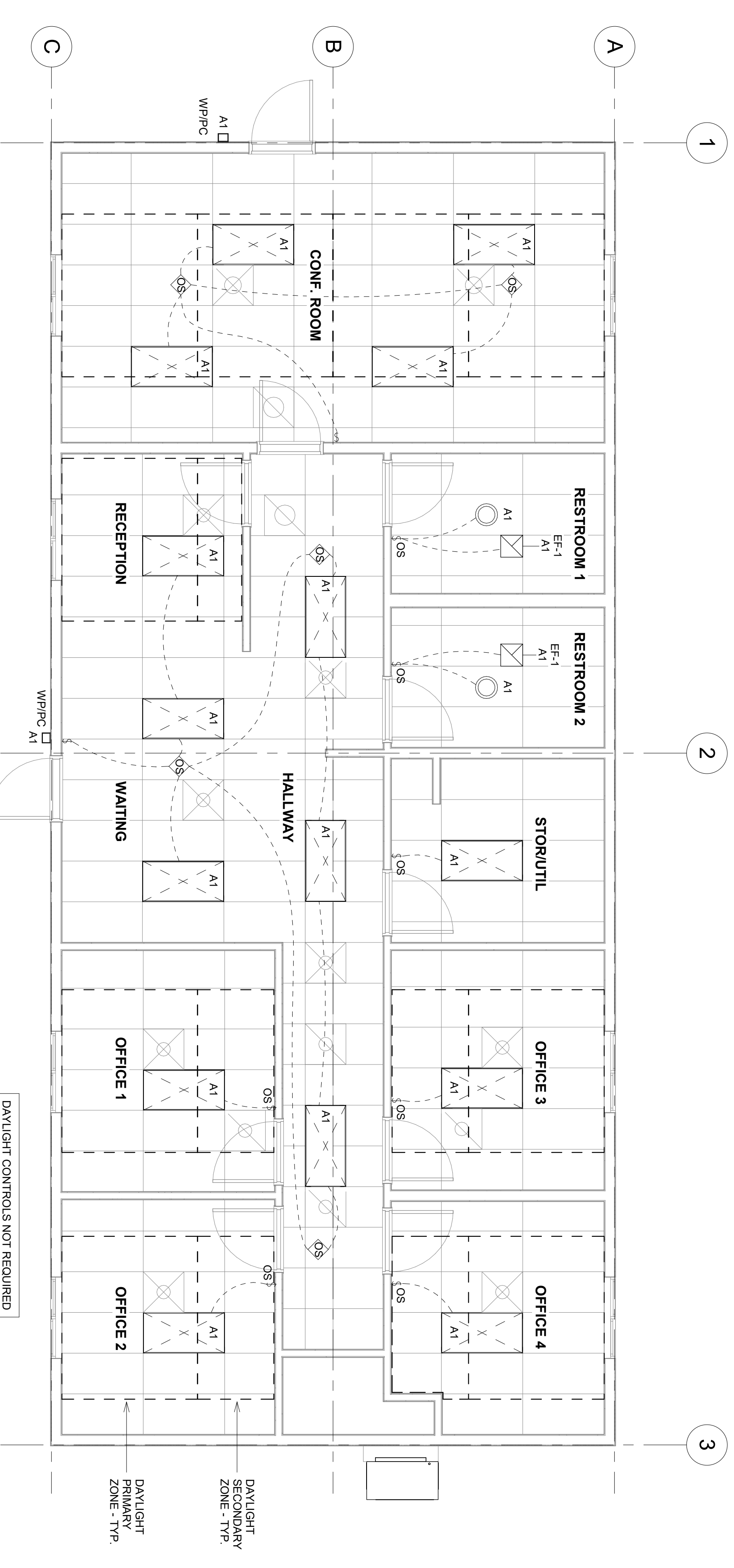


**Exhibit C**

# Exhibit C



1 ELECTRICAL PLAN  
1/4" = 1'-0"



2 LIGHTING PLAN  
1/4" = 1'-0"

DAYLIGHT CONTROLS NOT REQUIRED PER LIGHTING PLAN NOTE #4

| ELECTRICAL SYMBOLS LEGEND |   |
|---------------------------|---|
| ⊕                         | DUPLEX RECEPTACLE +17" A.F.F. (U.N.O.)          |
| ⊕                         | GFCI = GROUND FAULT CIRCUIT INTERRUPTER         |
| ⊕                         | MR = IN ALAR RESISTANT RECEPTACLE               |
| ⊕                         | TR = TAMPER RESISTANT                           |
| ⊙                         | JUNCTION BOX                                    |
| ⊙                         | THERMOSTAT                                      |
| ⊙                         | PHONE/DATA BOX - 3/4" CONDUIT UP (RACEWAY ONLY) |
| ⊙                         | DISCONNECT W/ SURGE SUPPRESSION DEVICE          |
| ⊙                         | CO2 SENSOR                                      |

| LIGHTING SYMBOLS LEGEND |   |
|-------------------------|---|
| ⊕                       | 2' X 4' LED LAY-IN FIXTURE - NON-FLIGHT |
| ⊕                       | 13" LED SURFACE MOUNT FIXTURE           |
| ⊕                       | EXTERIOR WALL MOUNT LIGHT FIXTURE       |
| ⊕                       | PC = PHOTOCELL<br>WP = WEATHERPROOF     |
| ⊕                       | OCCUPANCY SWITCH SENSOR - W/ MANUAL ON  |
| ⊕                       | SINGLE POLE SWITCH                      |
| ⊕                       | OCCUPANCY SENSOR                        |

### LIGHTING PLAN NOTES

- CONTROLLED RECEPTACLES ARE NOT REQUIRED PER DEESC E301.3.b EXCEPTION #3.C, AS EXCEPTIONS TO ASHRAE 84.2
- OCCUPANCY SENSORS IN EACH ROOM WILL BE WIRED TO CONTROL ALL LIGHT FIXTURES IN THAT ROOM.
- LIGHT WIRING AS SHOWN IS FOR GENERAL CONTROL, CLARIFICATION ONLY. ACTUAL WIRING FOR CONTROLS (I.E.: SWITCHES, OCCUPANCY SENSORS AND DAYLIGHT SENSORS) SHALL BE PER CONTROL MANUFACTURER'S SPECIFICATIONS AND AS NECESSARY TO MEET THE CODE REQUIREMENTS FOR EACH CONTROL AND THE LIGHT FIXTURES CONNECTED TO IT.
- DAYLIGHTING AND OCCUPANCY SENSORS ARE INTEGRAL TO EACH LIGHT FIXTURE AS SHOWN AND PROGRAMMED TO COVER EACH DAYLIGHT ZONE. OCCUPANCY SENSORS ARE PROGRAMMED TO CONTROL ALL FIXTURES IN THE SPACE TO COVER EACH DAYLIGHT ZONE. OCCUPANCY SENSORS ARE PROGRAMMED TO CONTROL ALL FIXTURES IN THE SPACE DAYLIGHT RESPONSE CONTROLS ARE NOT REQUIRED IN ZONES WITH LESS THAN 150 WATTS IN GENERAL PRIMARY SIDE LIGHTING AREAS. DAYLIGHT ZONES INCLUDING BOTH PRIMARY AND SECONDARY SIDELIGHTED AREA LESS THAN 300 WATTS ARE NOT REQUIRED. WHEN REQUIRED, SIDE LIGHTING AREAS SHALL BE CONTROLLED BY PHOTOCONTROLS PER ASHRAE 9.4.1.1.(6)
- BUILDING FACADE LIGHTING OTHER THAN ENTRY DOORS, SHALL HAVE CONTROLS PER ASHRAE 9.4.1.4.(b) TO AUTOMATICALLY SHUT OFF FACADE LIGHTING BETWEEN MIDNIGHT OR BUSINESS CLOSING, WHICHEVER IS LATER, AND 6 AM OR BUSINESS OPENING, WHICHEVER COMES FIRST.

### EXTERIOR LIGHTING SUMMARY

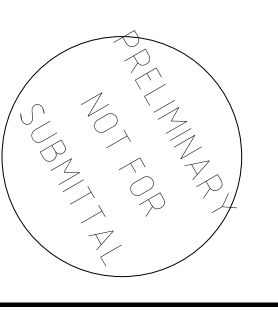
| Description        | Model                         | Quantity | Lamp | Wattage | Total Wattage |
|--------------------|-------------------------------|----------|------|---------|---------------|
| WALL MOUNT FIXTURE | CYBER TECH LIGHTING, LW17BZDL | 2        | LED  | 17 W    | 34 W          |
| Total              |                               |          |      |         |               |

### INTERIOR LIGHTING SUMMARY

| Description                    | Model                 | Quantity | Lamp | Wattage | Total Wattage |
|--------------------------------|-----------------------|----------|------|---------|---------------|
| 2'x4' LAY-IN FIXTURE           | LITHONIA, 281-T4      | 14       | LED  | 34 W    | 476 W         |
| 13" DIA. SURFACE MOUNT FIXTURE | LITHONIA, FMML 13-940 | 2        | LED  | 28 W    | 56 W          |
| Total                          |                       |          |      |         |               |

| REV./DESCRIPTION | DATE | BY | REVISION |
|------------------|------|----|----------|
|                  |      |    |          |

**MODERN BUILDING SYSTEMS, LLC**  
 BUILDING SYSTEMS  
 28' x 64' MODULAR OFFICE  
 WHC - FALLS CITY  
 ADDRESS: 123 PARRY ROAD, FALLS CITY, OR 97344  
 SHEET ELECTRICAL & LIGHTING PLANS  
 JOB# 2024-LB-12  
 SHEET# E1.0  
 DATE 2/26/24 PRELIM



# Exhibit C

**HVAC EQUIPMENT SCHEDULE**

SUBSTITUTIONS WITH EQUAL OR BETTER PERFORMING PRODUCTS ALLOWED WITH APPROVAL FROM MODERN

| Mark      | Count | Description                  | Manufacturer | Model         | Heating Efficiency | Heating COP = 3.30 | Cooling Efficiency | Weight (LBS) | Heating Capacity (Btu/h) | Cooling Capacity (Btu/h) | CFM  | MCA      | MOP     | Volts   | Phase | Notes                                     |
|-----------|-------|------------------------------|--------------|---------------|--------------------|--------------------|--------------------|--------------|--------------------------|--------------------------|------|----------|---------|---------|-------|---|
| MECH UNIT | 1     | 3.0 TON WALL MOUNT HEAT PUMP | BARO         | GBH1A20R24XXE | -                  | -                  | EER = 11.0         | 8.82         | 51,000                   | 55,500                   | 1650 | 45/52/52 | 500/600 | 230/208 | 1     | 20WV HEAT STRIP, ERV AND CURB. TOUR#BF480 |
| EF-1      | 2     | EXHAUST FAN                  | PANASONIC    | FV-0510V/S1   | -                  | -                  | -                  | -            | -                        | -                        | 80   | .39      | 20      | 120     | 1     |   |
| RC-1      | 1     | ROOF CAP                     | FANTECH      | RCBP          | -                  | -                  | -                  | -            | -                        | -                        | -    | -        | -       | -       | 1     |   |

**MIN. VENTILATION/EXHAUST RATES (OMSC/IMC SECTION 403.3)**

Ez = 0.8 FOR SUPPLY/RETURN IN THE CEILING & Ez = 1.0 FOR RETURN IN THE FLOOR PER IMC TABLE 403.3.1.1.2

| Name       | Area (sq ft) | Occ. Density (#/1000 FT <sup>2</sup> ) | Room Airflow Rate (cfm/person) | Exhaust Airflow Rate (cfm/ft <sup>2</sup> ) | Chq. Flush Fkt. | Occ. Load (Fz) | Occ. Airflow (CFM) | Area Exhaust Airflow (CFM) | Exhaust Airflow (CFM) | Air Flow Effectiveness (Ez) | Zone Outdoor Airflow Rate (Vol) |
|------------|--------------|--|--------------------------------|---|-----------------|----------------|--------------------|----------------------------|-----------------------|-----------------------------|---------------------------------|
| CONF. ROOM | 402 SF       | 50                                     | 5                              | 0.06  | 0               | 21             | 105                | 25                         | 0                     | 0.8                         | 163                             |
| HALLWAY    | 275 SF       | 0                                      | 0                              | 0   | 0               | 0              | 0                  | 0                          | 0                     | 0.8                         | 18                              |
| OFFICE 1   | 131 SF       | 5                                      | 5                              | 0.06  | 0               | 1              | 5                  | 9                          | 0                     | 0.8                         | 17                              |
| OFFICE 2   | 134 SF       | 5                                      | 5                              | 0.06  | 0               | 1              | 5                  | 8                          | 0                     | 0.8                         | 18                              |
| OFFICE 3   | 134 SF       | 5                                      | 5                              | 0.06  | 0               | 1              | 5                  | 9                          | 0                     | 0.8                         | 17                              |
| OFFICE 4   | 126 SF       | 5                                      | 5                              | 0.06  | 0               | 1              | 5                  | 8                          | 0                     | 0.8                         | 14                              |
| RECEPTION  | 94 SF        | 0                                      | 5                              | 0.06  | 0               | 1              | 5                  | 6                          | 0                     | 0.8                         | 14                              |
| RESTROOM 1 | 82 SF        | 0                                      | 0                              | 0   | 1               | 0              | 0                  | 0                          | 70                    | 0                           |                                 |
| RESTROOM 2 | 82 SF        | 0                                      | 0                              | 0   | 1               | 0              | 0                  | 0                          | 70                    | 0                           |                                 |
| STORAGE    | 104 SF       | 0                                      | 0                              | 0   | 0               | 0              | 0                  | 0                          | 0                     | 0.8                         | 24                              |
| WAITING    | 143 SF       | 10                                     | 5                              | 0.06  | 0               | 2              | 10                 | 9                          | 0                     | 0.8                         | 24                              |

**MECHANICAL NOTES**

- CONTROLS:**  
**THERMOSTAT**  
 WALL-INDOOR: BARO 8403-080 FACTORY INSTALLED  
 DOOR: BARO 8403-081 DOOR CONTROLS INSTALLED TO FACTORY EQUIPMENT DESIGN W/ ABOVE CONTROLS  
**CO2 SENSOR:**  
 BARO 8403-067  
**REMOTE TEMPERATURE SENSOR:**  
 BARO 8403-062  
 DOOR SWITCH CONTROLS TO BE INSTALLED PER ASHRAE 6.5.10, EXCEPT WHERE NOT REQUIRED PER ASHRAE EXCEPTION #1
- DUCTWORK:**  
**MATERIAL:**  
 24 GA. SHEET METAL W/ 26 GA. SHEET METAL ROUNDS AND FLEX DUCT ROUNDS AT DIFFUSERS  
**INSULATING AND SEALING:**  
 DUCTWORK TO BE INSULATED AND SEALED AT ALL CONNECTIONS  
**CONSTRUCTION:**  
 LOW PRESSURE DUCT SYSTEM  
**EXHAUST OUTLETS:**  
 FOR ENDRON METAL AIR EXHAUST ALUMINUM DUES, 3 FEET FROM OPERABLE OPENINGS INTO BUILDINGS, AND 10 FEET FROM MECHANICAL AIR INTAKES SHALL BE PROVIDED PER OMSC 501.3.1.3
- VOLUME DAMPERS:**  
 VOLUME DAMPERS TO CONTROL AIRFLOW AT EACH TAKEOFF OR DIFFUSER

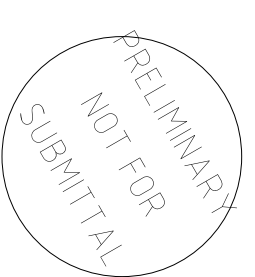
| REV. / DESCRIPTION | DATE | BY |
|--------------------|------|----|
|                    |      |    |
|                    |      |    |
|                    |      |    |
|                    |      |    |

REUSE OF DOCUMENTS THIS OCCURRING AND THE DESIGN ARE THE PROPERTY OF MODERN BUILDING SYSTEMS, INC. NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN AUTHORIZATION.



SHEET HVAC PLAN & NOTES  
 PROJ. 28' x 64' MODULAR OFFICE  
 WHC - FALLS CITY  
 ADDRESS 123 PARRY ROAD FALLS CITY, OR 97344

JOB# 2024-LB-12  
 SHEET # M 1.0  
 DATE 2/26/24 PRELIM



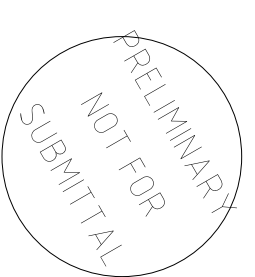
PLUMBING FIXTURE SCHEDULE

| SUBSTITUTIONS WITH EQUAL OR BETTER PERFORMING PRODUCTS ALLOWED WITH APPROVAL FROM MODERN |       |                        |   |            |         |       |
|--|-------|------------------------|---|------------|---------|-------|
| Mark   | Count | Description            | Model   | Style      | GMW/GPF | WATTS |
| LAV-1  | 2     | WALL HUNG LAVATORY     | GERBER, PLYMOUTH 12-314; FAUCET: OLYMPIA, 3LG161G   | VTR, CHINA | 0.5     |       |
| MS-1   | 1     | MOP SINK, 24x24        | MUSTIE, 69M; FAUCET: CHICAGO, 897-GRCF  |            |         |       |
| S-1  | 3     | BAR SINK, 15 X 15      | DAYTON, OM1515-5-2; FAUCET: OLYMPIA, B-8160   | SS         | 2.5     |       |
| WC-1   | 1     | ADA WATER CLOSET       | GERBER, MAXWELL MX21-928 (17" HIGH) TANK; GERBER, MAXWELL 28-990; SEAT: CHURCH, 295CT (RIGHT HAND FLUSH) TANK | TANK       | 1.28    |       |
| WC-2   | 1     | ADA WATER CLOSET       | GERBER, MAXWELL MX21-928 (17" HIGH) TANK; GERBER, MAXWELL 20-601; SEAT: CHURCH, 295CT (LEFT HAND FLUSH) TANK  | TANK       | 1.28    |       |
| WH-20  | 1     | WATER HEATER - 20 GAL. | AO SMITH, E1CS-20; TEMPERING VALVE: APOLLO TANK MAX 69  | ELEC.      |         | 2500  |

PLUMBING NOTES

- SUPPLY PIPING AND FITTINGS:
  - TYPE: FC/DN
  - CHLORINATED POLYVINYL CHLORIDE (CPVC) PLASTIC
  - SCHED 40
  - CROSSLINKED POLYETHYLENE (PEX) PLASTIC
- SUPPLY PIPE SIZES BASED ON:
  - 46 - 60 PSI
- WASTE PIPING:
  - ABS - DWV
- WASTE PIPE SIZES BASED ON:
  - 1/4" PER FOOT SLOPE
- FLOOR DRAINS:
  - FLOOR SHALL BE SLOPED TO FLOOR DRAINS PER OPSC 418.5
  - PROVIDE TRAP SEAL PROTECTION PER OPSC 1007
- TRAP PRIMERS TO BE MIN. 12" ABOVE FLOOR RIM PER OPSC 1007.4
- WATER HAMMER ARRESTERS:
  - INSTALL AT FLUSHMETERS OR QUICK-ACTING VALVES PER OPSC
- SHOWERS:
  - WHEN PRESENT SHALL BE PROVIDED WITH A THERMOSTATIC BALANCE VALVE PER OPSC 408.3
  - HAND SHOWER SHALL BE PROVIDED WITH A MINIMUM IN-LENGTH WATER SHOWER HEAD AS A FIXED SHOWER HEAD AND AS A HAND SHOWER SHALL BE PROVIDED
- DISHWASHER: WHEN PRESENT SHALL BE PROVIDED WITH AIR GAP FITTING PER OPSC 807.3
- CLOTHES WASHER: WHEN PRESENT SHALL BE PROVIDED WITH A STANDPIPE PER OPSC 804
- EXPOSED PIPES AND SURFACES:
  - PER ICC A171 SECTION 606.8, WATER SUPPLY AND DRAINPIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS
- WATER CLOSET SEATS:
  - PER OPSC/IPC 411.3, ADA COMPLIANT TOILET SEATS SHALL BE OF THE ELONGATED TYPE AND EITHER OF THE OPEN FRONT TYPE OR HAVE AN AUTOMATIC SEAT COVER DISPENSER. PLASTIC SEATS SHALL COMPLY WITH IAPMO Z124.9
- WATER CLOSETS:
  - PER OPSC/IPC 411.1, WATER CLOSET BOWLS FOR PUBLIC USE SHALL BE OF THE ELONGATED TYPE.
- FLUSH CONTROLS:
  - PER ICC A171 SECTION 604.11.6, FLUSH CONTROL S SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED FLUSH CONTROLS SHALL COMPLY WITH SECTION 309 OF THE WATER CLOSET.
- URINALS:
  - PER ICC A171 SECTION 609.2, URINALS SHALL BE OF THE STALL TYPE OR SHALL BE OF THE WALL HUNG TYPE WITH THE RIM AT 17 INCHES MAXIMUM ABOVE THE FLOOR. WALL HUNG URINALS SHALL BE 13-1/2 INCHES MINIMUM IN DEPTH MEASURED FROM THE OUTER FACE OF THE URINAL RIM TO THE WALL
- WATER HEATING:
  - SERVE WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH TEMPERATURE CONTROLS PER ASHRAE 7.4.1 AND 7.4.3
  - HOT WATER FROM PUBLIC-USE LAVATORIES SHALL ALSO BE CONTROLLED PER OPSC 407.3
  - ENERGY EFFICIENT EQUIPMENT SHALL BE SUPPLIED WITH HEATING EQUIPMENT PER ASHRAE 7.4.3
  - STRAP WATER HEATER TO WALL W/ 28 GA. X 1" SEISMIC STRAP W/ (1) #8 SWGT TO TANK AND (1) #3 X 2" BULGE HEAD SCREW TO WALL EACH END
  - HOT WATER PIPES TO BE INSULATED PER ASHRAE 7.4.3
  - HOT WATER PIPING WITHIN 18" OF WATER HEATER PER OPSC 604.14
  - WATER HEATING EQUIPMENT SHALL HAVE NO LESS THAN THE ENERGY FACTOR EFFICIENCY PER ASHRAE TABLE 7.8
  - WATER HEATING EQUIPMENT SHALL BE SUPPLIED WITH DRAINAGE PER OPSC 507.4.507.5

Exhibit C



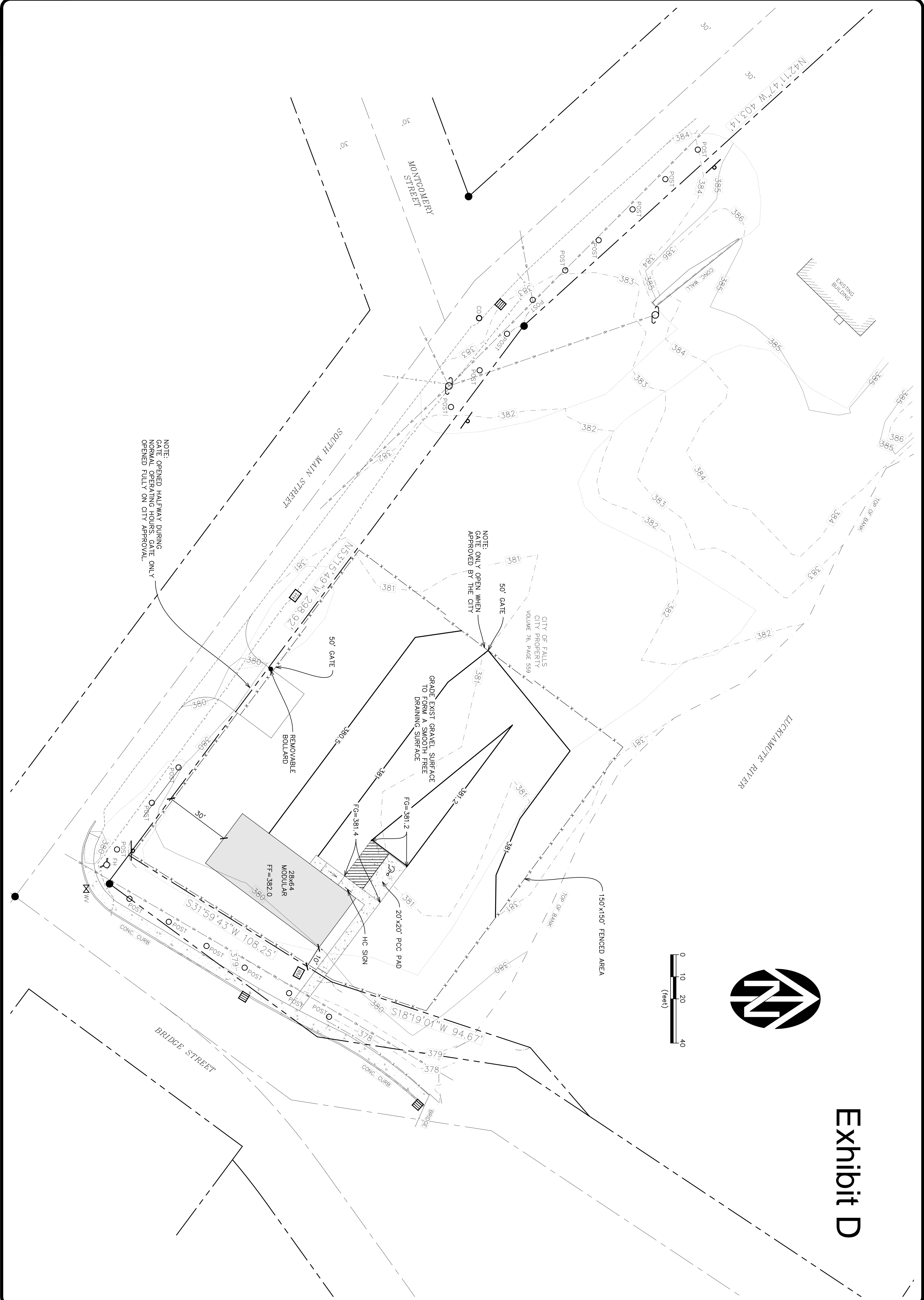
| REV. | DESCRIPTION | DATE | BY |
|------|-------------|------|----|
|      |             |      |    |
|      |             |      |    |
|      |             |      |    |
|      |             |      |    |
|      |             |      |    |

REUSE OF DOCUMENTS THIS DOCUMENT AND THE DESIGN ARE THE PROPERTY OF MODERN BUILDING SYSTEMS, LLC. IT IS NOT TO BE USED IN WHOLE OR IN PART ON ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION.



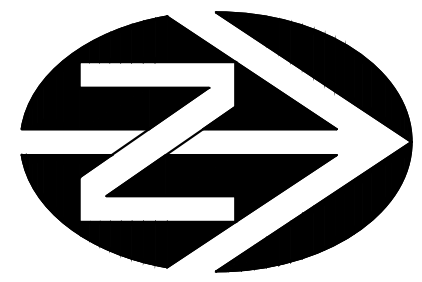
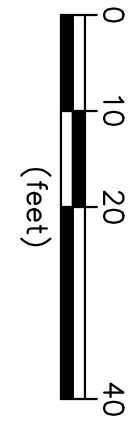
SHEET PLUMBING SCHEMATICS & NOTES  
 PROJ. 28' x 64' MODULAR OFFICE  
 WHC - FALLS CITY  
 ADDRESS 123 PARRY ROAD FALLS CITY, OR 97344

JOB# 2024-LB-12  
 SHEET# P 1.0  
 DATE 2/26/24 PRELIM



NOTE:  
 GATE OPENED HALF-WAY DURING  
 NORMAL OPERATING HOURS. GATE ONLY  
 OPENED FULLY ON CITY APPROVAL.

NOTE:  
 GATE ONLY OPEN WHEN  
 APPROVED BY THE CITY



# Exhibit D

| DRAWING<br><b>C3.0</b><br>JOB NUMBER<br>3504.0000.0 | WHITE OAK CONSTRUCTION<br>FALLS CITY COMMUNITY HEALTH CENTER |          | <b>GRADING &amp; DRAINAGE PLAN</b> |    | VERIFY SCALE<br>BAR IS ONE INCH ON ORIGINAL DRAWING<br>1" | <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> | NO. | DATE | DESCRIPTION | BY |  |  |  |  |
|---|--|----------|------------------------------------|----|---|---|-----|------|-------------|----|--|--|--|--|
|   | NO.  | DATE     | DESCRIPTION                        | BY |   |   |     |      |             |    |  |  |  |  |
|   |  |          |                                    |    |   |   |     |      |             |    |  |  |  |  |
| DSN. SAW<br>DRN. AR<br>CKD. SAW<br>DATE: AUG 2022   | 1  | NO. DATE | DESCRIPTION                        | BY |   |   |     |      |             |    |  |  |  |  |



|   |  |  |
|---|--|--|
| <b>FALLS CITY CITY COUNCIL</b>  |  | <b>MONDAY, MARCH 4, 2024</b>   |
| The Falls City City Council met in regular session with Council President Houghtaling on Monday, March 4, 2024 at 6:01 p.m. in the Community Center located at 320 N. Main Street                     |  |  |
| <b>Council Members Present:</b><br>Council President Amy Houghtaling, Councilor Nick Backus, Councilor Martha Jirovec, Councilor Tony Meier, Councilor Dennis Sickles and Councilor Lori Jean Sickles |  |  |
| <b>Staff Present:</b><br>City Manager AJ Foscoli, City Recorder Jeremy Teal   |  |  |
| <b>AGENDA</b>   |  | <b>ACTION</b>  |
| <b>Announcements, Appointments, Appreciations &amp; Proclamations</b>   |  | Council President Houghtaling stated that Mayor Bailey had injured himself and would not be attending the Council meeting tonight and that she would be running the Council meeting.   |
| <b>Public Comment</b>   |  | <p>Council President Houghtaling opened the public comments at 6:03 p.m.</p> <p>Milan Miller, owner of 171 Dayton, noted his medical issues had waylaid the repairs on the house and City Manager Foscoli got him working on the repairs.</p> <p>Councilor Backus asked if the water and electricity were on in the house. Mr. Miller stated they were not and that no one was in the house that shouldn't be. He stated he had an attorney working on eviction of the tenants. He noted only one person was on the lease and that was Mr. McKibben. He mentioned the situation was very frustrating. He advised that there was no fire investigation done on the fire, but that was what you get when you don't pay for insurance and no rent received. He stated the this was his chance to get the house done and get new tenants.</p> <p>Shane Compton, Mr. Miller contractor, stated he was contracted by Mr. Miller and inspected the house. He noted there was some structural damage and some siding that needed to be repaired, but the top plates and the exposed framing looked good. He advised he would open it all up and would fix anything that needed it.</p> <p>Mr. Miller thanked the Falls City Fire Department for their quick work on the fire at his house.</p> |

Tracy Young stated Mitchell Street was being paved by Polk County and she wondered what the 10,000 was for. She indicated the city didn't know how to take care of a dirt road. She stated that once a month when the road was wet was when it should be graded, and the city employees don't have skill to grade roads. She advised Polk County was contracted to put in a speed bump on Mitchell. She noted there would be more speeders on the newly paved Mitchell and that continued through town. She stated the streets needed real speed bumps.

Tina Thompson noted she was informed by a parent that Mayor Bailey, while involved in a confrontation during an athletic event, was not acting like a leader or teacher and as a consequence she was going to ask for his resignation.

Nikki McKee noted she lives on East Ave off Sheldon and the residents put out boxes to make people slow down. She stated that long term residents had heard the road was to be paved and the families there would like to pitch in and help do it. She mentioned she needed a new water meter cover and had been waiting for a while.

Boyd Lamprecht noted that speeders through town don't respect the speed in town and the county and city agreed to put in a speed bump while Mitchell paving was being completed.

Mr. Foscoli noted that Ms. Young and Mr. Lamprecht brought up good points regarding the streets and speeds in town. He stated the street budget was \$70,000 per year and there were a lot of streets over the entire city. He mentioned he had a conversation with Polk County regarding the speed bump.

Roxi Barnhart asked if the elementary gym could be used for events. Council President Houghtaling stated she had met with City Manager and events were allowed at the gym. She noted the limitation was the small amount of parking.

|   |  |
|---|--|
|   | <p>Linda Axford asked if the homeless shelter was still in the works and when it would come to a vote for Council. Council President Houghtaling there was no homeless shelter proposed, no plans, no infrastructure to support that. Mr. Foscoli noted the resource center would have the same services, but not housing.</p> <p>Council President Houghtaling closed the public comments at 6:36 p.m.</p>  |
| <p><b>Consent Agenda</b></p> <ul style="list-style-type: none"> <li>a) February 5, 2024 Minutes</li> <li>b) Historic Landmark application</li> </ul>                | <p>It was moved by Councilor D Sickles to approve the Consent Agenda as presented. The motion was duly seconded by Councilor Meier and CARRIED with a vote of 6-0 with Councilors Backus, Jirovec, Meier, D sickles, LJ Sickles and Council President Houghtaling voting YES.</p>  |
| <p><b>Reports or Comments from Mayor and Council Members</b></p> <ul style="list-style-type: none"> <li>a) Mayor’s Report</li> <li>b) Councilor Comments</li> </ul> | <p>Mayor Bailey was absent.</p> <p>Councilor Jirovec applauded Mr. Teal for capturing the breadth of the meeting minutes.</p> <p>Councilor D Sickles stated that speeding was a huge problem in the community. He noted that complaining was not the best action to solve the problem. Boyd Lamprecht stated that cameras and speed bumps work.</p> <p>Councilor Backus asked what the Falls City Utility Tax was on the Pacific Power bill. He noted he couldn’t find anything in the city records regarding the tax. Mr. Foscoli noted he knew nothing about a Falls city tax on the power bill and would investigate.</p> <p>Councilor Backus also asked about the repeal of backflow device fee. He mentioned it was still on the water bills. Mr. Foscoli stated he would look into that and get it taken care of.</p> <p>Councilor LJ Sickles advised the Falls City Easter Egg hunt would be held on Saturday, March 30 at 11 am at the upper park. She noted baskets would be put together on Friday, March 29 around noon at the Boondocks.</p> |

|   |  |
|---|--|
| <p>c) Public Works Committee</p>  | <p>Council President Houghtaling announced the resource center building was picked out, and the land use permit would be at the April Council meeting. She noted that several resources had agreed to be in the center. She stated a possible Ribbon Cutting in May and the center would have a full time staff person. She mentioned the center would have medical and dental.</p> <p>Linda Axford asked about the cleanup day. Council President Houghtaling noted the location was changing to the empty half of the lagoon property. She stated it would be a longer drive for residents and volunteers, but hopefully more resources with the space. She thanked the Falls City Fire Association and Department for Chief Young's retirement party.</p> <p>There were no comments.</p>  |
| <p><b>Reports from City Manager &amp; Staff</b></p> <p>a) City Manager's Report</p> | <p>Mr. Foscoli gave his report regarding the wastewater treatment plant and the football field filtration system and the resources that were being worked on before the drainage field could allow for use. He noted an alternative practice facility at the baseball field in the upper park for practice was being proposed. He reported on towing services, the Pacific Power E-Mobility grant, the Mitchell Street project, and the Resource Center project. He advised that a potential MINET Franchise agreement under Polk County would be brought before Council soon. He mentioned that MINET was going to connect to the new wastewater plant, and they were considering coming into town on North Main Street to the City buildings and that would create a franchise agreement.</p> <p>Councilor Backus asked if MINET would run lines all through town. Mr. Foscoli stated no. Councilor Backus commented that it was evidently more economical to run down dirt roads instead of into a town. Mr. Foscoli advised that Polk County paid to get the fiber out to the rural areas and to run lines all through Falls City would cost about</p> |

|   |   |
|---|---|
|   | <p>\$1.5 million. He noted that North Main Street was a straight line.</p>  |
| <p><b>Resolutions</b><br/>Resolution 05-2024 – Business Oregon Loan Agreement</p> | <p>Mr. Foscoli advised the City agreed to the grant funds for the water system improvements including upgrades to lines, the water plant, and the reservoir. He noted this resolution allows the City to enter into a financial agreement with the Oregon Infrastructure Finance Authority for a loan amount of \$1,075,218.</p> <p>Council President Houghtaling noted the estimated cost of 3 million with the city payout of \$1 million dollar over 30-year loan.</p> <p>Mr. Foscoli noted the payback for the loan would be an increase in \$10 over all customers and over many years.</p> <p>Councilor Jirovec asked when repayment would start. Mr. Foscoli noted that repayment would not need to happen until after the project was completed in 2025.</p> <p>It was moved by Councilor Meier to approve Resolution 05-2024 authorizing and approving the Safe Drinking Water Revolving Loan Fund financing contract s24003 loan amount of \$1,075,218 for financing the design, engineering, permitting and construction of this project. The motion was duly seconded by Councilor Backus. The motion was carried with a ROLL CALL vote of 6-0 with Councilors Backus, Jirovec, Meier, D Sickles, LJ Sickles, and Council President Houghtaling voting YES.</p> |
| <p><b>Ordinances</b><br/>a) Ordinance 565-2024 - Garbage</p>                      | <p>Mr. Gilbert stated that due to the activity at the schools and the community center with people rummaging through garbage decided to use the Salem ordinance that states the garbage was still the owner’s property until it was dumped. He noted the Polk County Sheriff needed the ordinance to enforce.</p> <p>It was moved by Councilor Meier to approve Ordinance 565-2024. The motion was duly seconded by Councilor Backus. The motion was</p>  |

|  |   |
|--|---|
|  | <p>carried with a ROLL CALL vote of 6-0 with Councilors Backus, Jirovec, Meier, D Sickles, LJ Sickles, and Council President Houghtaling voting YES.</p>  |
| <p>Good of the Order</p>   | <p>Councilor Jirovec noted she was looking for library volunteers to bring books and things and help develop the program.</p> <p>Mr. Gilbert stated he had a book bin at the school he would be willing to deliver wherever needed.</p> <p>Council President Houghtaling asked the Fire Department to help identify dangerous buildings with the city staff. She noted the staff would send out letters to all of the owners and give them the ordinance and information.</p> <p>Mr. Gilbert noted the Fire Chief's retirement party had around 180 people attend and there were Fire Chiefs from all over the area. He noted there was food, drinks and a good time had by all. He mentioned the Chief received a desk lamp with signatures on the shade and a Henry 22 Rifle that was a 911 Tribute with his name on the stock.</p> |
| <p>Adjourn</p>   | <p>There being no further business the meeting was adjourned at 7:21 p.m.</p>   |
| <p>Read and approved this ____ day of _____ 2024.</p> <p>Mayor: _____</p> <p>ATTEST:</p> <p>City Recorder: _____</p> |   |

## Call Volume for Falls City Volunteer Fire Dept. 2024 Calls (JANUARY-DECEMBER)

| 2024 MONTH               | MEDICAL   | PUBLIC ASSIST | MV A     | STRUCTURE FIRE / FALSE ALARMS | GRASS BRUSH TREE / BURN CO | POWER LINE | SW CALLS FCFD RESPOND ON | SW ASSISTED FCFD CALLS | MO. TOTAL CALLS |
|--------------------------|-----------|---------------|----------|-------------------------------|----------------------------|------------|--------------------------|------------------------|-----------------|
| JAN                      | 16        | 1             | 1 SW     | 1                             |                            | 1          | 1                        | 0                      | 20              |
| FEB                      |           |               |          |                               |                            |            |                          |                        |                 |
| MAR                      |           |               |          |                               |                            |            |                          |                        |                 |
| APR                      |           |               |          |                               |                            |            |                          |                        |                 |
| MAY                      |           |               |          |                               |                            |            |                          |                        |                 |
| JUNE                     |           |               |          |                               |                            |            |                          |                        |                 |
| JULY                     |           |               |          |                               |                            |            |                          |                        |                 |
| AUG                      |           |               |          |                               |                            |            |                          |                        |                 |
| SEPT                     |           |               |          |                               |                            |            |                          |                        |                 |
| OCT                      |           |               |          |                               |                            |            |                          |                        |                 |
| NOV                      |           |               |          |                               |                            |            |                          |                        |                 |
| DEC                      |           |               |          |                               |                            |            |                          |                        |                 |
| <b>YR TOTALS To Date</b> | <b>16</b> | <b>1</b>      | <b>1</b> | <b>1</b>                      | <b>0</b>                   | <b>1</b>   | <b>1</b>                 | <b>0</b>               | <b>20</b>       |

### Fire Department Report for February 2024 Council Meeting:

2024 Brings some new changes for our Dept. This year our beloved Fire Chief Robert Young of 42 years of service plans to retire later the end of this fiscal year. Chief Young started volunteering for the Falls City Fire Dept in January, 1982. Our new Interim Chief is John Gilbert, working with Chief Young at this time. John will take over as full time Fire Chief beginning fiscal year, 2024.

We are planning an early retirement celebration for Chief Young on Saturday, February the 24<sup>th</sup>, from Noon to 5:00 pm at the fire station. Everyone is welcome to attend or drop by to wish him well. You may bring a salad or dessert if you like. Contact John Gilbert or Sharon Volk Greve for questions. **(Car pooling is highly encouraged!)**

We had an increase in medical calls in January. Some calls were due to the icy roads and weather conditions we recently had. Lots of slips and falls on the ice. However, Falls City lucked out with only one power line down and limited power loss, which helped keep our water pipes, etc. from freezing.

Thank you for all of your community support and services!  
Happy Valentines Day!

Prepared by Sharon Volk Greve, Assistant Chief, Falls City Fire and EMS. Cell: (503) 871-5140

## February 2024 Falls City Stats

| Falls City Calls for Service |   |                 |   |                 |   |                |   |
|------------------------------|---|-----------------|---|-----------------|---|----------------|---|
| Animal                       | 2 | Citizen Contact | 3 | DUII            | 1 | Shots          | 1 |
| AOA                          | 1 | Civil           | 8 | EDP             | 2 | Stolen Vehicle | 2 |
| Area Check                   | 1 | Crash           | 1 | FIR             | 2 | Susp. Activity | 4 |
| Armed Person                 | 1 | Crime (misc)    | 1 | Follow Up       | 7 | Susp. Person   | 2 |
| Arson                        | 1 | Disturbance     | 1 | GSW             | 4 | Susp. Vehicle  | 1 |
| Assault                      | 1 | DOA             | 1 | Illegal Parking | 1 | Trespass       | 3 |
| Check Welfare                | 1 | Domestic Distrb | 4 | Overdose        | 1 | Warrant        | 2 |

|   |  |
|---|--|
| <b>Falls City Calls for Service</b><br>Total Calls for Service (county wide)<br>Falls City % of Total Calls | 60<br>1,140<br>5.3%  |
| <b>Of the FC Calls for Service</b><br>FC Cases Cleared by Arrest<br>Total Arrests in Falls City             | 11<br>9<br>4   |
|   | involved crimes<br>81.8%<br>10.0%<br>clearance<br>of total arrests |

|  |                             |  |             |                               |
|--|-----------------------------|--|-------------|-------------------------------|
| <b>Total Service Calls (Polk County)</b><br><br>Cases Cleared by arrest<br>Total Arrests (county wide) | 1,140<br><br>92<br>45<br>40 | <b>Crimes Occ</b><br><br>48.9%<br><br>Juvenile Arrests<br>Juvenile Arrests<br>(only true crimes reported here) | 1<br>1<br>1 | (county wide)<br>(Falls City) |
|--|-----------------------------|--|-------------|-------------------------------|





City of Falls City  
299 Mill Street  
Falls City, OR 97344  
Ph 503.787.3631

## City Manager's Report April 1, 2024

### **Introduction**

The past month was surprisingly uneventful. The only item of note from an infrastructure standpoint was the added maintenance that Public Works had to do at the Water Treatment Plant. Due to logging around the city's water intakes, which created sedimentary runoff that overloaded the active sand filter ponds, the treatment plant started losing efficiency to the point that out of schedule maintenance was necessary. The city operates and cycles through 3 sand filter ponds, with two active ones and one on standby, so taking one offline and activating the standby pond sooner than scheduled, added stress to the maturing cycle of the standby pond's filtration parameters. Public Works will be monitoring all sand filter ponds to ensure that they are working at peak efficiency and have overcome the sedimentary overload.

**Wastewater Project** – The biweekly meetings with Strider Construction and our contract engineers, have been back on schedule the past couple of weeks. At the last meeting, work on the chemical feed building at the lagoon site was discussed, and weather aside, the foundation work will be starting in Mid-April, after all rebar and conduit work has been finished. Additional concrete work on the compliance manholes at the lagoon site will follow the chemical feed building completion. Work at the school campus to construct the new pump station will begin once the lagoon work is completed. The current schedule for the in-ground pipeline work on Main Street is still scheduled for mid-spring, and we have been assured that the community will receive ample notice to accommodate any traffic impacts. As far as the school district's ability to use the football field, staff has been in contact with DEQ regarding doing additional water filtration to bring the level of treatment up to Class A recycled water, but DEQ has deemed this strategy too expensive, as well as too time consuming from a permitting standpoint. The city is thus pursuing a Mutual Agreement Order, which is permission to allow discharge of treated effluent out of season in order to keep the field from becoming saturated. This mitigation strategy will entail regulatory approval and has been granted to other jurisdictions on a case-by-case basis in the past. While the city pursues this new alternative, work is ongoing to ensure that the school district's athletic teams have the upper ballpark as a practice facility and we are working on field improvements to make sure that this is a viable option.

**Resiliency Hub Grant** – City staff has been meeting regularly with school district staff to create a priority list of equipment that the community could procure as part of the grant in case of emergency. As the deadline is April 30, work is ongoing to dial in the application details and narrative to justify the community's need for emergency equipment.

Note: If you have questions/concerns, please respond to me individually by email, phone, or in person. This way we avoid violating any public meetings laws with a "reply all" response, or multiple councilors discussing on the same thread.

**Community Resource Center Project** – The city is continuing to work with the Willamette Health Council, Polk County’s Family & Community Outreach, Falls City Thrives as well as several other resident volunteers to ensure that a Community Resource Center will be built in Falls City. Work to procure a building, contract with a construction company to place it and connected to infrastructure, and to enter into agreements with service providers to have office hours is ongoing. The planning permit process will go before the Planning Commission for approval on April 1, to allow the onsite construction to commence.

**RARE Application** – Staff is working with DEQ and our TMDL contractor to submit a RARE application to take advantage of the DEQ funding that will subsidize the placement of a RARE participant. At the moment, in order to increase the likelihood of Falls City being a recipient of the DEQ funding, our TMDL contractor is working on a joint application with our Polk County neighboring cities (one or more between Monmouth, Independence & Dallas). This means that the RARE will have a scope of work that will include components that are specific to Falls City, and others that focus on region-wide goals. We will have a preliminary application draft ready to share next week. Within the draft there will be project tasks to meet needs in the city’s TMDL implementation plan which is a requirement by DEQ. Our TMDL contractor will be at the May City Council meeting to give a presentation on the work to date.

**MINET Franchise Agreement** – The city has been approached by MINET/Willamette Valley Fiber about a possible future franchise fee agreement. The impetus for this initial conversation stems from the fact that MINET/Willamette Valley Fiber are putting lines on Falls City Highway to the end of Oakdale Road, thus making a connection to the future wastewater treatment facility an option. With the new electronic monitoring equipment going into the facility, having a fiber connection would be beneficial. This “stub” could then be used as a bridging point to bring in limited fiber service to Falls City’s Main Street. As MINET/Willamette Valley Fiber have done a feasibility study to bring fiber to the community of Falls City, with help from Polk County, the price tag for connecting all of the city is still financially challenging, but limited service to some of the more accessible properties off of Main Street is a possibility. Some of the line work has been ongoing and is expected to continue until the end of May. MINET/Willamette Valley Fiber will bring a franchise fee agreement, which is in line with the other Polk County municipalities, to the city council for consideration at the May meeting.

**Code Enforcement** – The owner of 171 Dayton has been in contact with City Hall regarding the ongoing repairs to the building on a weekly basis. We have received a list of the work that has been accomplished to date and the scheduled work that is still to be completed. Staff feels that the owner’s intent is to fulfill the council’s wishes of remediating the dangerous building to acceptable standards. The owner has been warned that if work is delayed or not completed in a timely manner, fees will be imposed on the property in line with non-compliance of the dangerous building ordinance.

**Backroads Coffee Shop UPDATE** – The owners of Backroads Coffee are currently working on the electrical installation phase, with a new main service panel inspected and passed, and with the rest of the electrical lining to be completed by mid-April. Once the electrical is finished, plumbing and framing will be next and the plan is to have that work reviewed+ and pass inspection by the end of May, after which work will begin on finishing the interior walls. Based on this construction schedule, the anticipation by the owners is to have the shop open by mid-summer.

**Tourism Promotion**– Staff at Travel Salem has put together a Social Media infrastructure that Falls City can take advantage of to promote events in the community. The Great Oaks Food Trail Facebook & Instagram pages are accessible to representatives from Falls City to post on a monthly basis to let folks (in & out of Polk County) know about Falls City events. These events are not exclusive to city-run ones, but to any that might be held in and around Falls City. Travel Salem’s tourism development staff will reach out to the Falls City representative and do a training on how the program is set up in the next few couple of weeks.

Sincerely,



## City Clerk’s Report

### City Hall

- Arbor Day will be Thursday, April 11<sup>th</sup> at 11:15 am. Location TBD
- Happy Dance will be Saturday, May 18
- Made the full transition to Quickbooks Online and will be working with US Bank to streamline ACH payments for vendors and direct deposit for the employees.
- Agendas are posted at these locations and will be from this point forward:  
Community Center, City Hall, Frinks Market, Falls City Market, Post Office, LCB Bulletin Board, City Website and Facebook page.

### Public Works

- New speed bumps were ordered to replace rumble strips on South Main Street.

Note: If you have questions/concerns, please respond to me individually by email, phone, or in person. This way we avoid violating any public meetings laws with a “reply all” response, or multiple councilors discussing on the same thread.

---

---

## STAFF REPORT

---

---

**TO:** HONORABLE MAYOR, AND CITY COUNCIL  
**FROM:** CITY MANAGER, AJ FOSCOLI  
**SUBJECT:** OREGON INFRASTRUCTURE FINANCE AUTHORITY LOAN AGREEMENT  
**DATE:** 4/1/2024

---

### **BACKGROUND**

The City needs to enter into a loan agreement with the Oregon Infrastructure Finance Authority to access the State's Safe Drinking Water Revolving Loan Fund dollars. These funds are dedicated to assisting municipalities to replace vital ageing water infrastructure systems. Falls City, as a small, rural community with a Low-to-Moderate median income qualifies for financial assistance in carrying out large scale projects on this nature, as in the current wastewater treatment facility construction project. This project's initial impetus came out of a Letter of Interest that the city submitted to Business Oregon to access funds that the Federal Government made available to states through the Bipartisan Infrastructure Bill

### **SUMMARY**

City staff spends a significant amount of its staff time and resources working on failing water distribution lines. Some of those lines, especially the oldest ones in areas of town with high pressure due to the topography of Falls City are very prone to breakage, and interrupt the city's ability to deliver potable water. The proposed project would address these vulnerable water distribution lines, ensuring that staff can more adequately allocate their time, as well as purchasing equipment (among others a vacuum trailer, enabling more efficient repair to affected lines) to address future breaks. The Estimated Project Cost for the project is \$2,367,300. This figure was based on the maximum allowed Forgivable Loan Amount of \$1,292,082, and a Loan Amount of \$1,075,218. This water infrastructure project is being paired with a grant from the Oregon Water Resources Department in the sum of \$593,000, which is being used to upgrade the city's water meters. In total, the city will be doing roughly \$3 million worth of water infrastructure upgrades while only having commit a \$1 million contribution.

### **RELEVANT COUNCIL ACTION**

The city must authorize and approve the safe drinking water revolving loan fund financing contract S24003 loan amount of \$1,075,218 for financing the design, engineering, permitting and construction of this project.

### **STAFF RECOMMENDATION**

Adopt the resolution as presented Res 05-2024.

### **ATTACHMENTS**

Exhibit A – Resolution 05-2024

Exhibit B – Safe Drinking Water Revolving Loan Fund Financing Contract

## RESOLUTION 05-2024

### RESOLUTION 05-2024 OF THE CITY OF FALLS CITY AUTHORIZING A LOAN FROM THE SAFE DRINKING WATER REVOLVING LOAN FUND BY ENTERING INTO A FINANCING CONTRACT WITH THE OREGON INFRASTRUCTURE FINANCE AUTHORITY

The City Council (the “Governing Body”) of the City of Falls City (the “Recipient”) finds:

- A. The Recipient is a community or nonprofit non-community water system as defined in Oregon Administrative Rule 123-049-0010.
- B. The Safe Drinking Water Act Amendments of 1996, Pub.L. 104-182, as amended (the “Act”), authorize any community or nonprofit non-community water system to file an application with the Oregon Infrastructure Finance Authority of the Business Development Department (“OBDD”) to obtain financial assistance from the Safe Drinking Water Revolving Loan Fund.
- C. The Recipient has filed an application with the OBDD to obtain financial assistance for a “safe drinking water project” within the meaning of the Act, and the OBDD has approved the Recipient’s application for financial assistance.
- D. The Recipient is required, as a prerequisite to the receipt of financial assistance from the OBDD, to enter into a Financing Contract with the OBDD, number S24003, substantially in the form attached hereto as Exhibit 1. The project is described in Exhibit C to that Financing Contract (the “Project”).
- E. Notice relating to the Recipient’s consideration of the adoption of this Resolution was published in full accordance with the Recipient’s charter and laws for public notification.

NOW THEREFORE, BE IT RESOLVED by the Governing Body of the Recipient as follows:

1. Financing Loan Authorized. The Governing Body authorizes the Mayor to execute the Financing Contract (the “Financing Documents”) and such other documents as may be required to obtain financial assistance including a loan from the OBDD on the condition that the principal amount of the loan from the OBDD to the Recipient is not more than \$2,367,300 with \$1,292,082 eligible for principal forgiveness if contract conditions are met and the interest rate is not more than 1%. The proceeds of the loan from the OBDD must be applied solely to the “Costs of the Project” as such term is defined in the Financing Contract.
2. Sources of Repayment. Amounts payable by the Recipient are payable from the sources described in Section 4 of the Financing Contract and the Oregon Revised Statutes Section 285A.213(5) which include:
  - (a) Revenue from Recipient’s water system, including special assessment revenue;
  - (b) Amounts withheld under subsection 285A.213(6);
  - (c) The general fund of the Recipient;
  - (d) Any combination of sources listed in paragraphs (a) to (c) of this subsection; or
  - (e) Any other source.
3. Additional Documents. The Mayor is hereby authorized to enter into any agreements and to execute any documents or certificates which may be required to obtain financial assistance from the OBDD for the Project pursuant to the Financing Documents.

4. Tax-Exempt Status. The Recipient covenants not to take any action or omit to take any action if the taking or omission would cause interest paid by the Recipient pursuant to the Financing Documents not to qualify for the exclusion from gross income provided by Section 103(a) of the Internal Revenue Code of 1986, as amended. The Mayor of the Recipient may enter into covenants on behalf of the Recipient to protect the tax-exempt status of the interest paid by the Recipient pursuant to the Financing Documents and may execute any Tax Certificate, Internal Revenue Service forms or other documents as may be required by the OBDD or their bond counsel to protect the tax-exempt status of such interest.

5. Reimbursement Bonds. The Recipient may make certain expenditures on the Project prior to the date the Financing Contract is executed with OBDD or the date the State of Oregon issues any bonds to fund the loan. The Recipient hereby declares its intent to seek reimbursement of such expenditures with amounts received from the OBDD pursuant to the Financing Contract, but only as permitted by OBDD policy, the Financing Contract, and federal tax regulations. Additionally, the Recipient understands that the OBDD may fund or reimburse itself for the funding of amounts paid to the Recipient pursuant to the Financing Documents with the proceeds of bonds issued by the State of Oregon pursuant to the Act. This Resolution constitutes “official intent” within the meaning of 26 C.F.R. §1.150-2 of the income tax regulations promulgated by the United States Department of the Treasury.

DATED this 1st day of April, 2024.

City of Falls City

---

[TJ Bailey, Mayor]

ATTEST:

---

[Jeremy Teal, City Clerk, City Recorder]